

***In-person participation by the public will be permitted.***

*Submit a written public comment prior to the meeting: Public comments submitted to [krashad@atwater.org](mailto:krashad@atwater.org) by 4:00 p.m. on the day of the meeting will be distributed to the Planning Commission and made part of the official minutes but will not be read out loud during the meeting.*

*Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Persons requesting accommodation should contact the City in advance of the meeting, and as soon as possible, at (209) 357-6241.*

# **CITY OF ATWATER**

## **PLANNING COMMISSION**

### **AGENDA**

Council Chambers  
750 Bellevue Road  
Atwater, CA 95301

**February 21, 2024**

CALL TO ORDER:

**6:00 PM**



INVOCATION:

**Invocation by Police Chaplain McClellan**

PLEDGE OF ALLEGIANCE TO THE FLAG:

ROLL CALL:

**Borgwardt\_\_\_\_, Kadach\_\_\_\_, Sanchez-Garcia\_\_\_\_, Sanders\_\_\_\_, Mokha\_\_\_\_**

SUBSEQUENT NEED ITEMS: (The Planning Secretary shall announce any requests for items requiring immediate action subsequent to the posting of the agenda. Subsequent need items require a two-thirds vote of the members of the Commission present at the meeting.)

APPROVAL OF AGENDA AS POSTED OR AS AMENDED: (This is the time for the Commission to remove items from the agenda or to change the order of the agenda.)

**Staff's Recommendation:** Motion to approve agenda as posted or as amended.

**ORGANIZATION OF THE PLANNING COMMISSION:**

**1. Nomination and Appointment of Planning Commission Chair**

**Staff's Recommendation:** That the Planning Commission, after opening and closing the nomination period by roll call vote of nominees in order of motion to appoint one (1) candidate to serve as Chair, the term of one (1) year, ending on December 31, 2024.

**2. Nomination and Appointment of Planning Commission Vice Chair**

**Staff's Recommendation:** That the Planning Commission, after opening and closing the nomination period by roll call vote of nominees in order of motion to appoint one (1) candidate to serve as Vice Chair, the term of one (1) year, ending on December 31, 2024.

**MINUTES:**

**3. December 20, 2023 – Regular meeting**

**Staff's Recommendation:** Approval of minutes as listed.

**PETITIONS AND COMMUNICATIONS:**

**None**

**PUBLIC HEARINGS:**

**4. Public hearing to consider adopting a resolution approving Conditional Use Permit No. 23-20-0100 for a cabinet shop located at 235 Business Parkway (APN: 056-330-036) (Applicant: Albert Cisneros)**

**Staff's Recommendation:** Open the public hearing and receive any testimony given;

Close the public hearing;

Make a finding that the project is categorically exempt under California Environmental Quality Act (CEQA) guideline section 15301, Class 1 "Existing Facilities;" and adopt Resolution No. 0239-23 Approving Conditional Use Permit No. 23-20-0100.

**5. Public hearing to consider adopting a resolution approving Tentative Map No. 23-22-0100 and Site Plan No. 23-22-0200 and recommending the City Council approve Zone Change No. 23-22-0300 to construct a 949 square foot coffee restaurant with a drive thru located at 1085 Bellevue Road, Atwater (APN: 150-190-036)**

**Staff's Recommendation:** Open the public hearing and receive any testimony given;

Close the public hearing;

Make a finding that the project is categorically exempt under California Environmental Quality Act (CEQA) guideline section 15332, Class 32 "Infill Development Projects," and;

Adopt Resolution No. 0241-23 Approving Tentative Map No. 23-22-0100, and Site Plan No. 23-22-0200; and recommending the approval of Zone Change No. 23-22-0300 to the City Council for the construction of a 949 square foot coffee restaurant with a drive thru located at 1085 Bellevue Road, Atwater (APN: 150-190-036).

**REPORTS AND PRESENTATION FROM STAFF:**

**6. Interim City Manager / Community Development Director Verbal Updates**

**COMMENTS FROM THE PUBLIC:**

**NOTICE TO THE PUBLIC**

At this time any person may comment on any item which is not on the agenda. You may state your name and address for the record; however, it is not required. Action will not be taken on an item that is not on the agenda. If it requires action, it will be referred to staff and/or placed on a future agenda. Please limit comments to a maximum of three (3) minutes.

**COMMISSIONER MATTERS:**

**ADJOURNMENT:**

CERTIFICATION:

I, Kayla Rashad, Planning Commission Recording Secretary, do hereby certify that a copy of the foregoing Agenda was posted at City Hall a minimum of 72 hours prior to the meeting.

*Kayla Rashad*

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Kayla Rashad,  
Planning Commission Recording Secretary

SB 343 NOTICE

*In accordance with California Government Code Section 54957.5, any writing or document that is a public record, relates to an open session agenda item and is distributed less than 72 hours prior to a regular meeting will be made available for public inspection in the Community Development Department at City Hall during normal business hours at 750 Bellevue Road.*

*If, however, the document or writing is not distributed until the regular meeting to which it relates, then the document or writing will be made available to the public at the location of the meeting, as listed on this agenda at 750 Bellevue Road.*



*In compliance with the Federal Americans with Disabilities Act of 1990, upon request, the agenda can be provided in an alternative format to accommodate special needs. If you require special accommodations to participate in a Planning Commission meeting due to a disability, please contact the Planning Commission Secretary a minimum of three (3) business days in advance of the meeting at (209) 812-1031. You may also send the request by email to*



# CITY OF ATWATER

## PLANNING COMMISSION

### ACTION MINUTES

**December 20, 2023**

REGULAR SESSION: (Council Chambers)

*The Planning Commission of the City of Atwater met in Regular Session this date at 6:01 PM in the City Council Chambers located at the Atwater Civic Center, 750 Bellevue Road, Atwater, California; Chairperson Daugherty presiding.*

INVOCATION:

**None**

PLEDGE OF ALLEGIANCE TO THE FLAG:

*The Pledge of Allegiance was led by Chairperson Daugherty*

ROLL CALL:

**Present:** *Planning Commission Members Borgwardt, Kadach, Sanchez-Garcia, Sanders, Chairperson Daugherty*

**Absent:** *None*

**Staff Present:** *Battalion Chief Lopes, Chief Salvador, Chief Building Official Pereida, City Engineer Seymour, City Manager Waterman, Deputy City Manager / Community Development Director Thompson, Mayor Nelson, Recording Secretary Rashad .*

SUBSEQUENT NEED ITEMS:

**None**

APPROVAL OF AGENDA AS POSTED OR AS AMENDED:

***MOTION: Planning Commission Member Sanchez-Garcia moved to approve the minutes. The motion was seconded by Planning Commission Member Sanders and the vote was: Ayes: Planning Commission Members Sanders, Borgwardt, Kadach, Sanchez-Garcia, Daugherty; Noes: None; Absent: None. The motion passed.***

APPROVAL OF MINUTES:

a) October 18, 2023 – Regular Meeting

***MOTION: Planning Commission Member Borgwardt moved to approve the minutes. The motion was seconded by Planning Commission Member Kadach and the vote was: Ayes: Planning Commission Members Sanders, Borgwardt, Kadach, Sanchez-Garcia, Daugherty; Noes: None; Absent: None. The motion passed.***

PETITIONS AND COMMUNICATIONS:

***None***

PUBLIC HEARINGS:

Public hearing to consider adopting a Resolution approving Conditional Use Permit No. 23-21-0100 and Site Plan No. 23-21-0200 for a 83-room hotel facility located at the southeast corner of Bell Drive and Bell Lane (APN: 001-260-001).

(Applicant: Chamkaur Dhaliwal)

***City Manager Waterman spoke on this project***

***Deputy City Manager / Community Development Director Thompson provided background on this project.***

***Battalion Chief Lopes and Chief Building Official concur to approve this project.***

***Chairperson Daugherty opened the public hearing.***

***Applicant Chamkaur Dhaliwal spoke on the project.***

***Planning Commission Member Kadach expressed concerns with the U-turns.***

***No one else came forward to speak.***

***Chairperson Daugherty closed the public hearing.***

**MOTION: Planning Commission Member Borgwardt moved to Make a finding that the project is categorically exempt under California Environmental Quality Act (CEQA) guideline section 15332, Class 32 “Infill Development Projects,” and Adopt Resolution No. 0240-23 Approving Conditional Use Permit No. 23-21-0100 and Site Plan No. 23-21-0200 provided the developer and staff finalize the Conditions of Approval. The motion was seconded by Planning Commission Member Sanders and the vote was: Ayes: Planning Commission Members Borgwardt, Kadach, Sanders, Sanchez-Garcia, Daugherty; Noes: None; Absent: None. The motion passed.**

**REPORTS AND PRESENTATIONS FROM STAFF:**

***Deputy City Manager / Community Development Director Updates.***

***Provided information on the General Plan Technical Advisory Committee Meeting occurring January 3, 2024.***

**COMMENTS FROM THE PUBLIC:**

***Chairperson Daugherty opened the Public Comment.***

***Notice to the public was read.***

***Chairperson Daugherty closed the public comment.***

**COMMISSIONER MATTERS:**

***Planning Commission Member Sanders requested a presentation on projects in 2023.***

***Planning Commission Member Kadach inquired about the overpass at Applegate and widening it.***

***Chairperson Daugherty inquired about the dead trees in the median on Buhach Rd and Green Sands Ave. He expressed concerns with the truck issues between the County and the City on Broadway Ave and Station Ave.***

**ADJOURNMENT:**

***Chairperson Daugherty adjourned the meeting at 6:35 PM.***

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Chair

By: Kayla Rashad  
Recording Secretary



## PLANNING COMMISSION AGENDA REPORT

### PLANNING COMMISSION

Jagandeep Mokha  
Donald Borgwardt Mayra Sanchez-Garcia  
Harold Kadach Ileisha Sanders

**MEETING DATE:** February 21, 2024

**TO:** Chair and Commissioners

**FROM:** Greg Thompson, Deputy City Manager

**SUBJECT:** Public hearing to consider adopting a Resolution approving Conditional Use Permit No. 23-20-0100 for a cabinet shop located at 235 Business Parkway (APN: 056-330-036).

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### **RECOMMENDED COMMISSION ACTION:**

It is recommended that Planning Commission:

1. Open the public hearing and receive any testimony from the public;
2. Close the public hearing;
3. Make a finding that the project is categorically exempt under California Environmental Quality Act (CEQA) guideline section 15301, Class 1, "Existing Facilities;" and adopt Resolution No. 0239-23 Approving Conditional Use Permit No. 23-20-0100.

### **I. BACKGROUND:**

The Planning Department of the City of Atwater received a conditional use permit and site plan review application for the establishment of a cabinet shop within an existing facility located on the North Side of Business Park Way, approximately 0.10 Miles west of Aviator Drive, with APN 056-330-036 (refer to figure 1). The proposed project will include occupancy of 3,000 square feet of an existing 12,200 square foot light industrial building. The current site has five suites and includes one fitness center, storage facility, two vacant suites and the proposed cabinet shop.



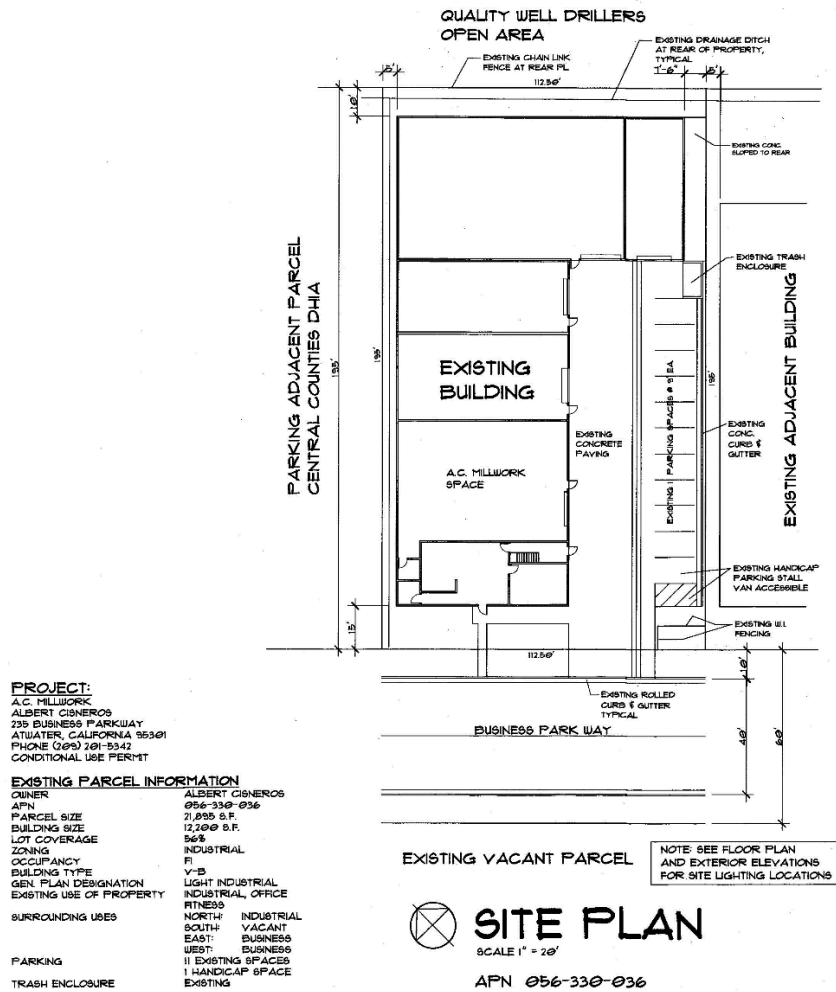


Figure 1 Site Plan

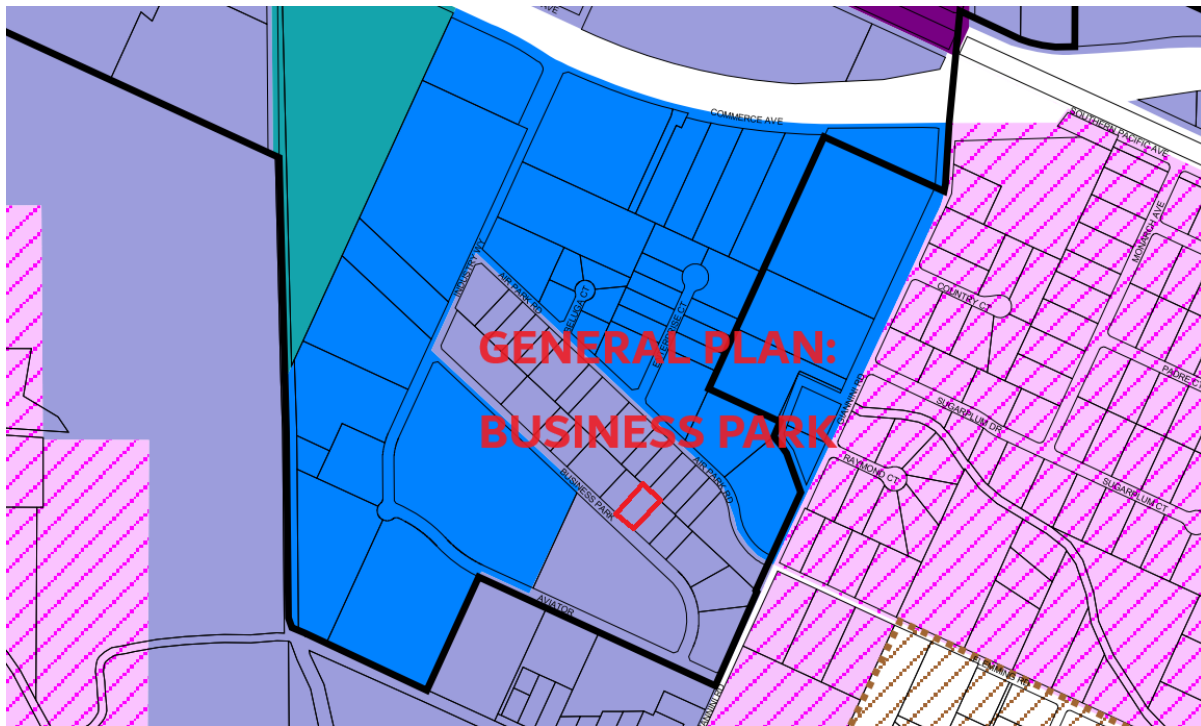
**II. ANALYSIS:**

The applicant requests approval of Conditional Use Permit No. 23-20-0100 pursuant to the authority of Atwater Municipal Code (AMC) section 17.40.030. The approval of this entitlement would facilitate the ability of the proposed cabinet shop to occupy a suite of an existing single-story industrial facility, consisting of a total of five (5) suites, with one fitness center, one storage facility, two vacant suites and the proposed cabinet shop. The cabinet shop will be in the first suite nearest the right-of-way and will provide millwork and cabinetry services. The cabinet shop will not be open to visitors, according to their operational statement. The overall footprint of the existing building is 12,200 sq. ft, as shown in Figure 1.

The project is located on the north Side of Business Park Way, approximately 0.10 Miles west of Aviator Drive (APN: 056-330-036). The subject property is zoned M-1 (Light Industrial) District and has a Land Use Designation of Business Park. Per the Atwater Municipal Code (AMC) 17.40.030, Machine and welding shops, carpenters, manufacturers of furniture and similar items are allowed with a conditional use permit under the M-1 (Light Industrial) Zone District. Approval of the project is therefore subject to the following development standards as provided under Section 17.40.040 of the AMC:

1. Height of buildings: No building constructed in this zone shall exceed a height of 35 feet – Satisfied with original Permits.
2. Fences: 6—8 feet in height behind exterior setback – Satisfied.
3. Outdoor storage area shall be surrounded by a masonry, combination wood and masonry, ornamental screen or fence, or adequate planting sufficient to screen such storage areas from view, not less than six feet in height nor more than eight feet in height, and no materials shall be stacked higher than the enclosure – Satisfied.
4. Loading Area. Adequate off-street space for the handling of all materials and equipment shall be provided. Before use permits or site plans are approved, the Planning Commission shall make specific findings as to adequacy of loading area, depending on the type of activity involved - Adequate loading space is available at each roll up door but should be identified.

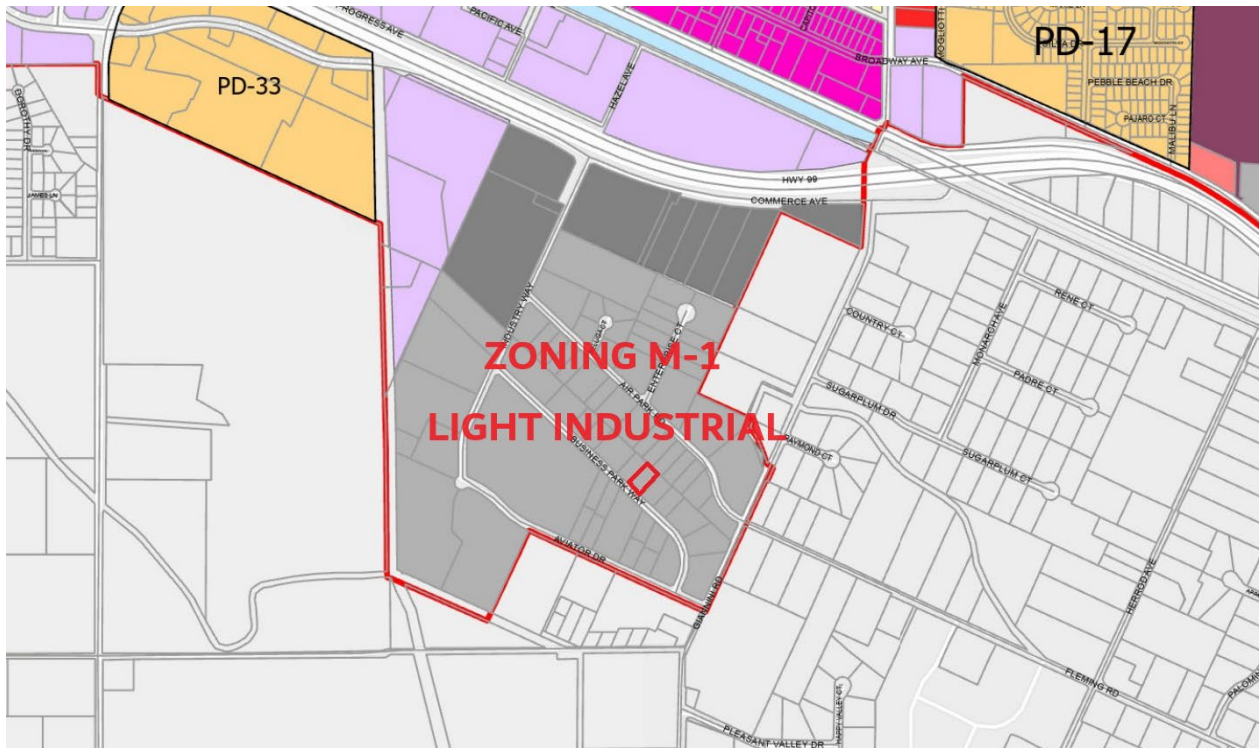
# Land Use Designation: Business Park



## Land Use Designation:

The project site has a land use designation of BP, Business Park. This designation is intended to accommodate a wide range of business uses and may include manufacturing operations within completely enclosed buildings, associated offices, trade schools, and supporting childcare and retail activities.

# ZONE: M-1 (LIGHT INDUSTRIAL DISTRICT)



**Zoning:**

As previously stated, the project is located on the north Side of Business Park Way, approximately 0.10 Miles west of Aviator Drive (APN: 056-330-036), which is in the M-1 Light Industrial Zone District. The purpose of the M-1 zone is to provide a location for lighter industrial uses necessary within the city, but not suited to other districts such as commercial zone that may consist of lighter activities. The consideration of a cabinet shop under this zoning designation must be approved by the Planning Commission under a Conditional Use Permit Application.

The M-1 Light Industrial zone district was established to be consistent with the General Plan Land Use Element. The zone’s objectives are to provide a location for light industrial activities and also offers other opportunities for uses such as the cabinet shop with approval of a conditional use permit.

**Surrounding Uses:**

The surrounding areas to the north, south, east and west are also zoned as M-1 Light Industrial District and are currently developed with various uses a fitness center, landscaping supply facility and a feed supply shop. The property to the south is currently undeveloped. The proposed use of the site as a cabinet shop within the M-1 Light Industrial District would be consistent with the surrounding uses.

**III. FISCAL IMPACTS:**

No negative fiscal impacts are anticipated with the approval of this project.

**IV. LEGAL REVIEW:**

This item has been reviewed by the City Attorney.

**V. EXISTING POLICY:**

Section 17.40.030 of the Atwater Municipal Code outlines the use types that require a use permit.

Section 17.71 of the Atwater Municipal Code outlines the procedures for the processing of Conditional Use Permits.

GOAL ED-1. Attract new employment generating businesses to the Atwater Planning Area and continue to diversify the community's economic base.

**VI. INTERDEPARTMENTAL COORDINATION:**

An interdepartmental routing sheet was sent to all required departments and affected agencies for review, and their comments and conditions have been incorporated.

**VII. PUBLIC PARTICIPATION:**

The public will have an opportunity to provide comments on this item prior to Planning Commission action.

**VIII. ENVIRONMENTAL REVIEW:**

Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt under guideline Section 15301, Class 1 "Existing Facilities". Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

**IX. STEPS FOLLOWING APPROVAL:**

Following adoption of Resolution No. PC 0239-23 Conditional Use Permit No. 23-20-0100, and a five-day appeal period, the signed resolutions will be given to the applicant. A Notice of Exemption (NOE) will be filed with the Merced County Clerk-Recorder's Office.

Prepared by: Tom Navarro, Contract Senior Planner

Submitted by: \_\_\_\_\_  
Greg Thompson, Interim City Manager

Attachments:

1. Resolution No PC 0239-23
2. Uniform Development Application
3. Operational Statement
4. Site Plan
5. Floor Plan/Elevation
6. San Joaquin Valley Air Pollution Permit



## PLANNING COMMISSION OF THE CITY OF ATWATER

### RESOLUTION NO. PC 0239-23

**A RESOLUTION OF THE PLANNING  
COMMISSION OF THE CITY OF ATWATER  
APPROVING A CONDITIONAL USE PERMIT,  
FOR A CABINET SHOP; LOCATED AT 235  
BUSINESS PARKWAY, ATWATER, APN: 056-  
330-036**

**WHEREAS**, at a duly noticed public hearing on February 21 2024, the Planning Commission of the City of Atwater reviewed a request for approval of a conditional use permit to allow a cabinet shop located on the north side of Business Park Way approximately 0.10 miles west of Aviator Drive; and,

**WHEREAS**, this project is statutorily exempt under California Environmental Quality Act (CEQA) guideline 15301, Class 1 “Existing Facilities;” and,

**WHEREAS**, \_\_ person(s) spoke in favor of the Conditional Use Permit, \_\_ person(s) spoke in opposition of the Conditional Use Permit, and \_\_ written comment(s) have been submitted either in opposition or in favor of the Conditional Use Permit; and,

**WHEREAS**, the proposed Conditional Use Permit No. 23-20-0100 will not have a detrimental effect on the health, safety, and welfare of the neighborhood nor have any adverse effect on the community; and,

**WHEREAS**, the Planning Commission has determined that the following findings can be made for Conditional Use Permit No. 23-20-0100 in support of the Project:

1. That the application proposes establishment of a cabinet shop use within an existing facility that was previously reviewed, approved and conditioned for construction within the M-1 Light Industrial Zone District
2. The project site is consistent with the City’s General Plan and Zoning Ordinance.
3. That this project is exempt from CEQA review under CEQA guideline section 15301, Class 1 “Existing Facilities”, because section 15301 applies to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features,

involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

4. The public hearing for this Conditional Use Permit was adequately noticed and advertised.
5. Adoption of the resolution will not have a detrimental effect on the health, safety, and welfare of the neighborhood or any adverse effects on the community.

**NOW THEREFORE BE IT RESOLVED** that the Planning Commission of the City of Atwater does hereby approve Conditional Use Permit No. 23-20-0100 and is subject to the following conditions:

**BUILDING**

1. All plan submittals and calculations and all other required documentation shall be submitted to the Building Division. Documents will be routed to proper departments for review and sent out to third party plan checking services.
2. Apply for a permit application in person or online.
3. Plan Check fee payment (based on valuation of the project) contact Building Division
4. Five (5) sets of plans including three (3) wet stamped by a registered California Design Professional, unless noted accordingly per the "Professional Engineers Act" of 2001.
5. Three (3) sets of Energy/Title 24, California Green Code Documents, Special Inspection form (filled out by designer), Ventilation designs, approval of dust collection system from San Joaquin Valley Air Pollution Control Board, Waste Management Plan, and any other applicable calculations/specifications or documents.
6. Building plans shall reflect the most recent California Building Codes (Title 24) which consist of the Building Code volume 1 & 2, Wind Speed: Risk Category I: 100, Category II:  $V_{ult}$  110,  $V_{asd}$  85, Category III  $V_{ult}$  115,  $V_{asd}$  85
  - a. Wind Exposure: B Urban and Suburban, C in any quadrant for a distance of more than 600 feet
  - b. Seismic Design Category: DO
  - c. Weathering: Negligible, Winter design temp. 25 degrees F
  - d. Air Freezing Index: 1500, mean annual temp 60 degrees F
7. Green Code, Electrical Code, Mechanical Code, Plumbing Code, Fire Code including Appendix C, Appendix D, Appendix I, Appendix J, California Energy



Commission requirements, State and Federal Accessibility requirements, Atwater Municipal Codes (AMC), requirements from Atwater Fire Department, Engineering, Planning and Public Works Departments respectively.

8. Once plans are approved by the City of Atwater the Building Division will contact the applicant with fee totals and approximate time when plans will be ready for pick up.
9. Building Permits cards and city approved plans and calculations shall always be on site when an inspection is called in.
10. The construction site shall have an address posted that will be easy for inspectors and emergency services to see.

**CODE ENFORCEMENT**

11. All exterior electrical outlets be configured to be disabled from power use from a breaker location within the interior of the building.
12. All exterior water spigots be configured to include lockable mechanisms to prevent unpermitted water use.
13. All commercial Trash Bin conditions per AMC 8.18 are required to be followed and maintained for the duration of occupancy.
14. All exterior landscaping including shrubbery and bushes should be designed to prevent natural areas of concealment as they mature.
15. All trash bin enclosures are recommended to include anti “climb over” features and locking doors to prevent any unwanted access.
16. Installation of elevated LED flood lighting to provide adequate lighting for all exterior areas.
17. Exterior Knox Box with appropriate keys to provide emergency services immediate access to the interior of the property.

**ENGINEERING**

18. The applicant shall secure and comply with all applicable federal, state, and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
19. Applicant shall comply with any applicable provisions of the California environmental quality act.

20. A waste management plan must be developed to account for the waste biproducts produced within the facility.
21. The site Plan must comply with most recent Americans with Disabilities Act (ADA) and California Building Code (CBC) accessibility requirements.
22. Applicant shall comply with all requirements of the San Joaquin Valley Air Pollution Control District (SJVAPCD).
23. Applicant shall comply with all applicable sections of title 13 of the Atwater Municipal code.

**FIRE**

24. All plans, calculations and supporting documentation are routed through the Building Division.
25. Plans, calculations and supporting documentation shall reflect the latest California Building Codes (Title 24) Focusing on the Fire Code including Appendix C (hydrant location and distribution), Appendix D(Fire apparatus Access Roads), Appendix I(Fire Protection System-Non Compliance Conditions) and Appendix J(Emergency Responder Radio Coverage), CCR Title 24, NFPA, ASTM, California Fire Marshal requirements, and the Atwater Municipal Code (AMC).
26. Plans, calculations and supporting documents may be sent to the city's third-party plan checking services. All fire related plans will also be reviewed by the city's Fire Marshall.
27. Knox Box shall be installed for every individual commercial property or access gate.
28. Address numbers shall be clearly seen from the road serving property. Each separate commercial property shall have numbers made out of weatherproof materials and shall stand out from background. Numbers shall be a minimum of 18" tall, made with 2" wide material and shall be placed at the top right hand of the structure (unless otherwise approved by the Fire Marshall).
29. Each suite or tenant space shall have an address number or suite number placed clearly on the entry door. Numbers shall stand out from background and be a minimum of 6" tall made out of 1" wide material.

**PLANNING**

30. Height of buildings: No building constructed in this zone shall exceed a height of 35 feet.
31. Fences: 6—8 feet in height behind exterior setback.

32. Outdoor storage area shall be surrounded by a masonry, combination wood and masonry, ornamental screen or fence, or adequate planting sufficient to screen such storage areas from view, not less than six feet in height nor more than eight feet in height, and no materials shall be stacked higher than the enclosure – Provided.

33. Loading Area. Adequate off-street space for the handling of all materials and equipment shall be provided. Before use permits or site plans are approved, the Planning Commission shall make specific findings as to adequacy of loading area, depending on the type of activity involved - Adequate loading space is available at each roll up door but should be identified.

The foregoing resolution is hereby adopted this 21st day of February, 2024.

**AYES:**  
**NOES:**  
**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**CHAIR**

**ATTEST:**

\_\_\_\_\_  
**GREG THOMPSON,**  
**INTERIM CITY MANAGER**



City of Atwater
Uniform Development Application
750 Bellevue road

Phone: (209) 357-6342/357-6349

Fax: (209) 357-6348

CUP #
23-20-0100

APPLICATION FORM

Please indicate the types of application requested

- Administrative Application
Amend Planned Development
Amend Conditional Use Permit
Application for Appeal
Architectural Review
Certificate of Compliance
Conditional Use Permit
Development Agreement
General Plan Amendment
Lot Line Adjustment
Lot Merger
Site Plan
Tentative Map
Time Extension
Variance
Zone Change
Zoning Text Amendment
Other

Describe Proposed Project:

Cabinet & Millwork, framing components, modify & cut wood materials,

APPLICANT: A.C Millwork PHONE NO: 209-201-5342

ADDRESS OF APPLICANT: 2450 Sierra Springs CT EMAIL: ACMillwork@yahoo.com

PROPERTY OWNER: same as above PHONE NO: 209-201-5342

ADDRESS OF PROPERTY OWNER: 2450 Sierra Springs CT, Atwater

ASSESSOR'S PARCEL NUMBER: 056-380-036

Address/General Location of Property: 235 Business Parkway, Atwater

EXISTING ZONING OF PROPERTY: Business Park

GENERAL PLAN DESIGNATION OF PROPERTY:

Indemnity Statement

To the fullest extent permitted by law, Developer, and Developer's successor in interest, shall defend, indemnify, and hold harmless City, and its agents, elected and appointed officials, officers, employees, consultants, and volunteers (collectively, "City's Agents") from any and all liability arising out of a claim, action, or proceeding against City, or City's Agents, to attack, set aside, void, or annul an approval concerning the project, the Development Agreement, the Conditional Use Permit, or Subsequent City Approvals. Failure by Developer to indemnify City, when required by

this condition of approval, the Development Agreement, and the Indemnification Agreement, shall constitute a material breach of the Development Agreement, the Conditional Use Permit, and Subsequent City Approvals, which shall entitle City to all remedies available under law, including, but not limited to, specific performance and damages. Failure to indemnify shall constitute grounds upon which City may rescind its approval of any applicable Conditional Use Permit. Developer's failure to indemnify City shall be a waiver by Developer of any right to proceed with the project, or any portion thereof, and a waiver of Developer's right to file a claim, action, or proceeding against City, or City's Agents, based on City's rescission or revocation of any Conditional Use Permit, Subsequent City Approvals, or City's failure to defend any claim, action, or proceeding based on Developer's failure to indemnify City. This condition may be placed on any plans or other documents pertaining to this application.

I have read, agree and accept the City Indemnity agreement

Signed: Albert J Cisneros 11/20/23

Applicant                      Date:

There are no deed restrictions on this land that would prohibit this type of use or development. I (we) Albert J Cisneros depose and say that I am the property owner involved in this application and the forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Signed: Albert J Cisneros 11/20/23

PROPERTY OWNER      DATE:

Albert J Cisneros 11-20-23

PROPERTY OWNER      DATE:

## CITY OF ATWATER UNIFORM DEVELOPMENT APPLICATION CHECKLIST

**PROJECT APPLICATION: ALL ITEMS ON THE CHECKLIST MUST BE SUBMITTED WITH YOUR APPLICATION AND ALL MAPS PROPERLY FOLDED OTHERWISE IT WILL NOT BE ACCEPTED!**

One (1) completed copy of the combined Development Application form.

Appropriate Schedule Fees (make checks payable to the City of Atwater).

One (1) completed and signed copy of Agreement to Pay Processing Costs. (Attached)

Ten (10) 36x24-inch site plans and five (5) 11x17 reduction of the site plan (See site plan requirements). Be prepared to submit and electronic copy of the site plan.

Ten (10) 36x24-inch site plans and five (5) 11x17 reduction of the elevation drawings and copies of site plan (See site plan requirements). Be prepared to submit and electronic copy of the site plan.

Ten (10) 36x24-inch site plans and five (5) 11x17 reduction of the floor plans and copies of site plan (See site plan requirements). Be prepared to submit and electronic copy of the site plan.

Copies of the Tentative Parcel Map/Tentative Subdivision Map and will require to contain the information outlined in the Atwater Municipal Code Chapter 16 Section 16.20.020 attached to this form (See tentative map requirements).

A letter signed by the property owner authorizing representation by a person or agency other than him/herself

Legal description of the entire project site in a metes and bounds format.

Preliminary title report, chain of title guarantee or equivalent documentation not older than (6) months which shows any and all easements affecting the project site.

Ten (10) 18x24-inch site plans and five (5) 8-1/2x11 identifying the proposed Lot Line Adjustment, Parcel merger or Parcel Unmerge, and all existing features, including but not limited to easements, utilities, and structures.

Vicinity Map

Identification of existing and proposed lot area(s).

Project Checklist Continued

Hazardous Waste and Substances Site List Disclosure form completed and signed. The California Government Code requires that applicants for all development projects, excluding building permits, must check the Comprehensive Hazardous Waste and Substances Statement list to determine if the site of the proposed project is on the list. This is to be completed as part of the application materials, The Purpose of this is to provide information to be verified and used in the environmental Review of the project.

Operational Statement, which should be printed on its own sheet of paper and have the following information: Nature of the proposal including all types of uses-sales, processing, manufacturing etc, detail existing, proposed, and future operations, brief summary of operation hours to include peak hours, estimated number of personal during peak hours, vicinity map with highlighted truck routes, proposed method of waste removal and disposal (show on plot plan trash receptacle), how is the proposed project consistent with nearby uses, uses of all structures, size of buildings.

Staff Initials KR

Date received 11-20-23

## **Atwater Municipal Code Chapter 16 Section 16.20.020 Tentative Map Requirements**

The following information shall be delineated on the tentative map or contained in a written statement to accompany each map:

- Tract number as obtained from the City Engineer and name of the subdivision, if the subdivider so desires;
- Sufficient legal description of the land to describe the location of the proposed subdivision;
- Name and address of the owner and subdivider;
- Name and address of the person preparing the map;
- If adjoining land has been subdivided, the recordation data of the map shall be shown;
- Approximate acreage and boundary lines of the subdivision;
- North point, scale and date;
- Location, width and proposed names of all streets within the boundaries of the subdivision;
- Location and width of easements;
- Approximate street centerline radii of curves;
- Names of utility companies and location of existing and proposed public utilities;
- Existing culverts and drain pipes;
- Watercourses and channels including proposed facilities for control of storm waters;
- Railroads and other rights and other rights-of-way;
- Dimensions of reservations;
- Adjoining property and lot lines;
- Lot lines and approximate dimensions;
- The approximate location of areas subject to inundation of storm water overflow and the location width and direction of flow of all water courses;
- Location of all existing buildings, structures and trees;
- Proposed source of water supply;
- Proposed method of sewage disposal and storm water drainage;
- Proposed street improvements;
- Proposed protective covenants regarding use of property and building lines;



Tentative Map Requirement Continued

- Proposed tree planting which shall conform substantially as to species and location with the street tree plan of the City and otherwise with the regulations of Chapter 12.32 Trees;
- Proposed public areas; location, names and widths of existing and proposed streets, highways, alleys, easements, railroads, and other open spaces in adjacent areas;
- Contours with maximum interval of two feet, unless waived by the City Engineer;
- Existing use of property immediately surrounding;
- Proposed land use of lots;
- Existing zoning and proposed zoning;
- If private streets are proposed, the method of maintenance and financing such maintenance;
- A description of the proposed fencing to provide a physical and visual barrier between the subdivision and all open ditches, drains and canals;
- Proposed unit boundary lines, if the subdivision is to be developed in more than one unit.

## Site Plan Checklist

- Address and County Assessor's Parcel Number.
- Name, address and telephone number of applicant, architect and/or engineer.
- Summary legend describing project information including zoning and lot size. For new construction provide summary of units permitted and proposed building coverage permitted and proposed off-street parking permitted and proposed, unit square footage breakdown.
- Vicinity Map (showing property location to major roads and major landmarks).
- Scale of plot plan, north arrow, existing property lines and dimensions.
- Names and full widths of all adjacent streets and alleys (indicate location of any medians and curb cuts).
- Show location of existing and proposed structures and walls (identify existing as a dashed line and proposed as a solid line).
- Label the use of all existing and proposed structures and areas
- Indicate setbacks, yard areas, distances between structures (setbacks to be measured from ultimate property lines if dedication is required).
- Show square footage of the structure(s) and percentage of structure coverage in relationship to the entire lot.
- Show location and dimensions of adjacent street rights-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking. Designate open parking, carports, and garages, include dimensions of parking stalls, maneuvering areas, driveways, specify paving materials; identify all curbing and wheel stops.
- Show loading areas, including dimensions and screening
- Show location of trash enclosures and indicate materials.
- Show location and size of all existing proposed signs, walls, and fences.
- Indicate existing and proposed landscape areas. Preliminary landscaping should include trees and major planting areas (specific materials, sizes, and numbers will be required on detail plans following Planning Commission or City Council approval).
- Show proposed exterior lighting

### Site Plan Checklist Continued

- Show location and general dimensions of any existing irrigation facilities, natural drainage ways and storm drainage facilities on the site, including any proposed modifications.
- Show size and species of all trees 6 inches and greater in diameter at 3 feet. Indicate whether to be removed or retained.
- Show location of curb cuts on neighboring properties; and, in commercial and industrial zones, within 300 feet of adjacent properties and properties across the street.
- Location of buildings on adjacent properties (sides and rear) within 25 feet of the project site.
- Include development-phasing schedule (if proposed and/or applicable), including those portions of the project included in each phase, and estimated start and completion dates.
- Include a table of impervious areas showing pre and post development values.



# City of Atwater

## HAZARDOUS WASTE AND SUBSTANCE STATEMENT

Phone: (209) 357-6342/357-6349

Fax: (209) 357-6348

This is to determine if the proposed project or any alternatives to the proposed project in this application are on the lists compiled to Section 65962.5 of the Government Code. The applicant is required to submit a signed statement, which contains the following information:

NAME OF OWNER: Albert J Cisneros

ADDRESS: 2450 Sierra Springs Ct, Atwater CA 95301

NAME OF APPLICANT: Albert J Cisneros

ADDRESS: same as above

ADDRESS OF SITE: 235 Business Parkway, Atwater, CA 95301

APN: 056-330-036-000

LOCAL AGENCY: COUNTY OF MERCED

NOT ON LIST

SPECIFY LIST

REGULATORY IDENTIFICATION NO: \_\_\_\_\_

Pursuant to section 65962.5 of the Government Code

DATE OF LIST: 11-20-23

APPLICANT SIGNATURE: Albert J Cisneros Date 11-20-23

### City of Atwater Processing Agreement

This an agreement for payment of costs for the city of Atwater application processing

To be completed by applicant:

This agreement is by and between the City of Atwater, California, hereafter "City," and Allied 3 Cosmetics hereinafter "applicant". This is a legally binding agreement. You should ensure to read all provisions of this agreement.

1. Applicant agrees to pay all personnel and related direct, indirect, overhead and overtime costs incurred by City employees and consultants (including engineers, attorneys and other professionals) incurred by City for review and processing the subject application, even if the application is withdrawn in writing, not approved, approved subject to conditions or modified upon approval. Applicant agrees that it shall pay any and all costs related to the subject application that the City would not have incurred but for the application. City's indirect and overhead costs will be applied to the time of City employees and consultants. All personnel and related direct, indirect, overhead and overtime rates for City employees and consultants shall be calculated annually by the City manager.
2. Applicant agrees to make an initial deposit in the amount of \$ 2,000 at the time this agreement is signed, and subsequent deposits within 30 days of the date requested by the City in writing, The city will not pay interest on deposits. Applicant agrees that It knowingly and voluntarily waives, extends and continues each of the time limits imposed by California Government Code Section 65943 for the determination of a development application's completeness and the time limits imposed by California Government Code Sections 65950, 65950.1, 65951, and 65952 for the approval or disapproval of development permits for as many days as the applicant delays making a subsequent deposit from the date of written notice requesting such additional deposit until the deposit is received by City, not to exceed 90 days. Failure to make any subsequent deposits may result in denial of an application for development project or in the decision by the City to postpone action on the application.
3. If Applicant does not deposit such requested deposits or make payments on outstanding invoices within thirty (30 days after the date of the deposit request or invoice, City staff may cease work on the project until the required deposit or payment is made, subject to any other provisions of law.
4. Deposits shall be applied toward the City's costs in reviewing and processing the application. City will send monthly statements indicating the charges against the initial deposit and any subsequent deposits. The City may elect to send statements less frequently than monthly, if there is only limited monthly activity on the project.

5. In the event that the accumulated periodic charges exceed the initial deposit and any subsequent deposits previously received by City, City will invoice Applicant for the amount outstanding and may require an additional deposit. Applicant will pay any and all amounts exceeding the initial and subsequent deposits within thirty (30) days of the date of the invoice and shall make any additional deposit required by the City.
6. City statements and invoices shall provide summary information indicating the cost for employees and independent contractors, including direct and indirect charges. Original invoices from independent contractors (except attorney/client invoices) shall be available upon request by Applicant, at Applicants additional cost.
7. Applicant shall pay interest on all costs unpaid 30 days after the date of any invoice at the maximum legal rate, and the City is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts.
8. Applicant and owner of property, if not the same, agree to and authorize City to place lien on the property subject to this application for any and all delinquent fees, Th City shall remove such a lien once the Applicant has paid all delinquent fees. For purposes of this section, an invoice amount shall become delinquent when unpaid for 30 days after the date of the invoice.
9. Any refund of amounts deposited shall be made in the name of the Applicant, to the address noted above in Section 2. Invoices are due and payable within 30 days.
10. Applicant further agrees that no building permits, Certificate of Occupancy and/or subdivision Acceptance for the project will be issued until all costs for review and processing are paid.
11. Applicant shall provide written notice to the City if any of the above information changes.
12. This Agreement shall only be executed by an authorized representative of the Applicant. The person executing this Agreement represents that he/she has the express authority to enter into agreements on behalf of the Applicant.
13. This Agreement is not assignable without written consent by the City of Atwater. The City of Atwater will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.

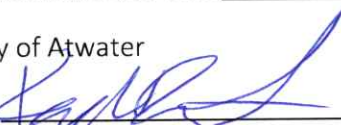
Applicant: Albert J Cisneros (AC millwork) Date: 11/20/23

Print Name and Title: Albert J Cisneros / owner

Owner: \_\_\_\_\_ Date: 11/20/23

Print Name and Title: \_\_\_\_\_

City of Atwater

By:  Date: 11-20-23

Print Name and Title: Kayla Rashad



**COMMUNITY DEVELOPMENT  
EXISTING SITE CONDITIONS**

750 Bellevue road

Phone: (209) 357-6342/357-6349

Fax: (209) 357-6348

Application: CUP

APN: 056-330-036

As Property Owner, I hereby acknowledge grading, land clearing, construction or any action that would alter the existing condition of the project site until approval of the final application is granted by the City of Atwater. I understand that alteration of the project site prior to approval will impact the City of Atwater's ability to review the project and could result in higher prices and require additional mitigation measures/conditions of approval to be applied or result in the denial of the application.

My agent/applicant has been instructed the importance of maintaining the current condition of the project site. The exception to the above-mentioned statement is an approval by the Planning department upon a written request.

Ann S. Ginn

Signed

11-20-23

Date

CITY OF ATWATER COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT  
ENVIRONMENTAL INFORMATION FORM

(This form to be completed by Applicant and returned with all Land Use Applications. Please note that additional environmental information may be requested as necessary. Use additional sheets as necessary.)

**GENERAL PROJECT INFORMATION** (Please type or print legibly in ink)

1. Name, Address, telephone number, and email address of land owner/applicant:  
Albat J Cisneros, 209-201-5342, acmillwork@yahoo.com  
231 Business Parkway, Atwater
2. Name, Address, telephone number, and email address of applicant if other than land owner:  
Same as above
3. Address/General location and APN of the project:  
231 Business Parkway, Atwater, 95301
4. Existing zoning: M-1
5. Land use designation within the current General Plan: Business Park
6. Proposed change in use and project for the proposed application (Please provide an Operational Statement for the proposed project and/or business activity):  
None
7. Indicate the type of Permit(s) Application(s) to which this form pertains:  
Conditional Permit
8. List any other agencies and related permits or approvals that will be required for the project: None
9. List all adjacent uses to the project/property location:  
North: Jose Perez Tile Company  
South: Vacant N/A  
East: Light Industrial  
West: Central Counties DTHA Laboratory



**PROJECT DESCRIPTION** (Attached additional Sheets as Necessary)

10. Project Area: 3000 sq ft Parcel Size: 1/2 Acre

11. Proposed Structures: (New and Existing) existing

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12. Percentage of lot coverage (before and after any construction generated from the project): \_\_\_\_\_

13. Number of required off-street parking spaces (including Accessible):  
11 existing parking spaces

14. School district(s) that serve the project area:  
N/A

15. Describe the landscaping improvements for the proposed project (please include all compliance with State mandated water conservation requirements):  
None

16. If the proposed project is to be a phased development, please described incremental phasing and implementation of improvements. (Use additional sheets if necessary):  
None

17. If the proposed project will represent a change to any resource of cultural significance as defined in Public Resources Code section 21074 (Tribal Cultural Resource) Please provide a copy of your consultation letter and the name and address of the consulting authority:  
None

18. List any and all hazardous or toxic materials, chemicals, pesticides, flammable liquids, or other similar products used as a part of the day to day operations of the project and all storage methods. (Please note that the use and storage of certain materials will require filing of a Hazardous Materials Business Plan and Spill Prevention Containment and Countermeasure Plan as may be determined. Applicants are encouraged to consult with the Merced County Environmental Health Division and local Fire Department as Administrators of said plans.):  
None

19. Described the estimated consumption of water, the estimated sewage generation, and the estimated amount of storm water run-off during a 10-year, 24-hour, storm event.  
 Water: NIA Gallons per day; Sewage: NIA Gallons per day; Storm water: NONE
20. Provide a description of the proposed water delivery system(s) including any on-site treatment necessary for the proposed project. (Include water use and management in the Operational Statement for the Project.): NONE
21. Provide a description of the proposed sanitary sewer system(s) including any on-site treatment necessary for the proposed project. (Include any capture and waste water treatment needs in the Operational Statement for the Project.): NONE
22. Provide a "Can-and-will" serve letter for the project for any/all outside agencies or service districts that are anticipated to serve the project including any discharge agreement that may be necessary from the offices of The Merced Irrigation District. (Attach as necessary)
23. Provide any necessary percolation tests as may be necessary as determined by the City Engineer or building division.
24. Please provide the estimated amount of solid waste (garbage, spoils, or animal waste/manure) generated from the project site and methods of disposal:  
NONE
25. Describe any earthwork (grading) that will be necessary for the project including all work associated with access roads or improvements located on adjacent lands or City owned/managed improvements. (please also list dust control methods and any compliance or permits necessary for the local Air Pollution Control District.): NONE
26. Provide the estimated amount of traffic and nominate the roads impacted, which would be a result from the project. Roads impacted:  
NONE Customers don't go to the shop.  
 Average Daily Trips: \_\_\_\_\_

**PROJECT DESCRIPTION CONT.**

Please indicate below the response that most applies to the described project. Should the answer indicated differ from the information provided in the General Project Information shown above or from information already obtained from the offices of the City of Atwater, the applicant(s) will be required to provide evidence or documentation to support the answers shown. (Please attach additional sheets as may be necessary)

	Yes	Maybe	No
27. Change to existing features of any vegetation, lakes, streams, rivers, hills, or substantial alteration of ground contours.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Any change in quantity, direction of flow of groundwater.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
29. Change in quality or alteration of drainage patterns to any lake, stream, Natural or man-made water body.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
30. Change in absorption rates, drainage patterns, or the rate or amount of surface runoff.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
31. Discharge into any surface water, or any alteration of surface water quality, i.e., temperature, dissolved oxygen, turbidity, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
32. Change in amount of surface water in any water body.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
33. Change in scenic views of vistas from existing residential areas, public lands or roads.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
34. Change in pattern, scale or character of the general area of the project.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
35. Will the project affect existing housing or create a demand for additional housing.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
36. Will the project result in a substantial alteration of the present or planned land use of the area.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
37. Will significant amounts of solid waste (garbage, spoils, manure) or litter be generated as a result of the project.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**PROJECT DESCRIPTION CONT.**

	Yes	Maybe	No
38. Will substantial air emissions or deterioration of ambient air quality be a result of the project.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
39. Will there be a change in dust, ash, smoke, fumes, or odors in the vicinity.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
40. Creation of objectionable odors.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
41. Change in existing noise or vibration levels in the vicinity, or exposure of people to major noise sources.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
42. Will the project produce new light or glare.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
43. Site on filled land or on a slope of 10 percent or more.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
44. Substantial disruptions, displacements, compaction or over covering of soil.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
45. Any uses of disposable or potential hazardous materials, toxic substances, flammables or explosives.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
46. Substantial change in demand for municipal services such as police, fire, water, waste water treatment, City maintenance, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
47. Substantial increase in demand on fossil fuel consumption.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
48. Relationship to larger project(s) or planning areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
49. Impacts to plant or animal species or any species as may be State or Federally listed as a sensitive or endangered species.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
50. Impacts to areas designated for use by agriculture.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**PROJECT DESCRIPTION CONT.**

**GENERAL ENVIRONMENTAL SETTING:** Please provide a brief description of any special environmental conditions present on the project site and include photographs depicting the site and the surrounding area: None

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**CERTIFICATION**

I hereby certify that I/We are the legal owners of the property and project shown and described herein and that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Adam J. Quinn

Dated: 11/20/23

(Original signature required)

**LIST OF ATTACHMENTS**

1. { \_\_\_\_\_
2. { \_\_\_\_\_
3. { \_\_\_\_\_
4. { \_\_\_\_\_
5. { \_\_\_\_\_
6. { \_\_\_\_\_
7. { \_\_\_\_\_
8. { \_\_\_\_\_
9. { \_\_\_\_\_
10. { \_\_\_\_\_

# OPERATION STATEMENT

Date: February 15, 2024

Name: AC Millwork

235 Business Parkway

Operation Summary:

Personal: - This is a 2 man shop. Owner and Business partner.

Hours Of Operation: - Monday – Friday from 8am to 4pm.

Equipment Used:

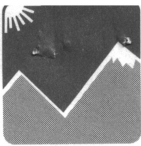
- Table saw
- Shaper
- Planer
- Belt Sander
- Air Compressor
- Dust Collector
- Hand Power Tools

Materials Used:

- Plywood Sheets
- Hardwood Boards
- Drawer Slides
- Door Hinges
- Wood Screws
- Wood Nails
- Wood Glue

Objective:

Workshop will assemble and frame precut cabinet components purchased from area vendors. Assembly of components will be framed with nails, wood glue and hardware materials. Some materials will need to be cut and shaped at work shop in order to assemble. After the assembly of cabinets including drawers and doors, all raw wood components will be prepared and delivered to the job site and/or address from customers.



# San Joaquin Valley

## AIR POLLUTION CONTROL DISTRICT

SJVAPCD Tax ID: 77-0262563

Facility ID
N4190

Invoice Date
12/30/2023

Invoice Number
N161106

Invoice Type
24/25 Annual Permits To Operate

PACIFIC CABINETS  
231 BUSINESS PARKWAY  
ATWATER, CA 95301

Permit Fees Due (enclosed is a detailed statement outlining the fees for each item)

\$ 143.00

Late Payment (see Rule 3010, Section 11.0 Late Fees)	
Postmarked	Total Due
After 2/28/2024 through 3/9/2024	\$ 157.30
After 3/9/2024	\$ 214.50
After 3/29/2024	
Permits To Operate MAY BE SUSPENDED	

*Paid*  
*# 5948*  
*2/11/24*

**Pay by check or pay online at: [www.valleyair.org/Paymentus](http://www.valleyair.org/Paymentus)**

San Joaquin Valley Air Pollution Control District  
4800 Enterprise Way, Modesto, CA 95356-8718, (209) 557-6400, Fax (209) 557-6475

**Invoice Detail**

Facility ID: N4190

PACIFIC CABINETS  
 231 BUSINESS PARKWAY  
 ATWATER, CA 95301

Invoice Nbr: N161106  
 Invoice Date: 12/30/2023  
 Page: 1

Permit Number	Billing Period	Equipment Description	Fee Rule	Qty	Fee Amount	Total Fees
N-4190-1-2	3/1/2024 to 2/28/2025	WOODWORKING OPERATION CONSISTING OF THREE SAWS, TWO SHAPERS, ONE PLANER AND ONE WIDE BELT SANDER ALL SERVED BY A 4,500 CFM NORTHTECH MODEL NT-DC5C DUST COLLECTOR	3020-01 B	1	\$ 143.00	\$ 143.00

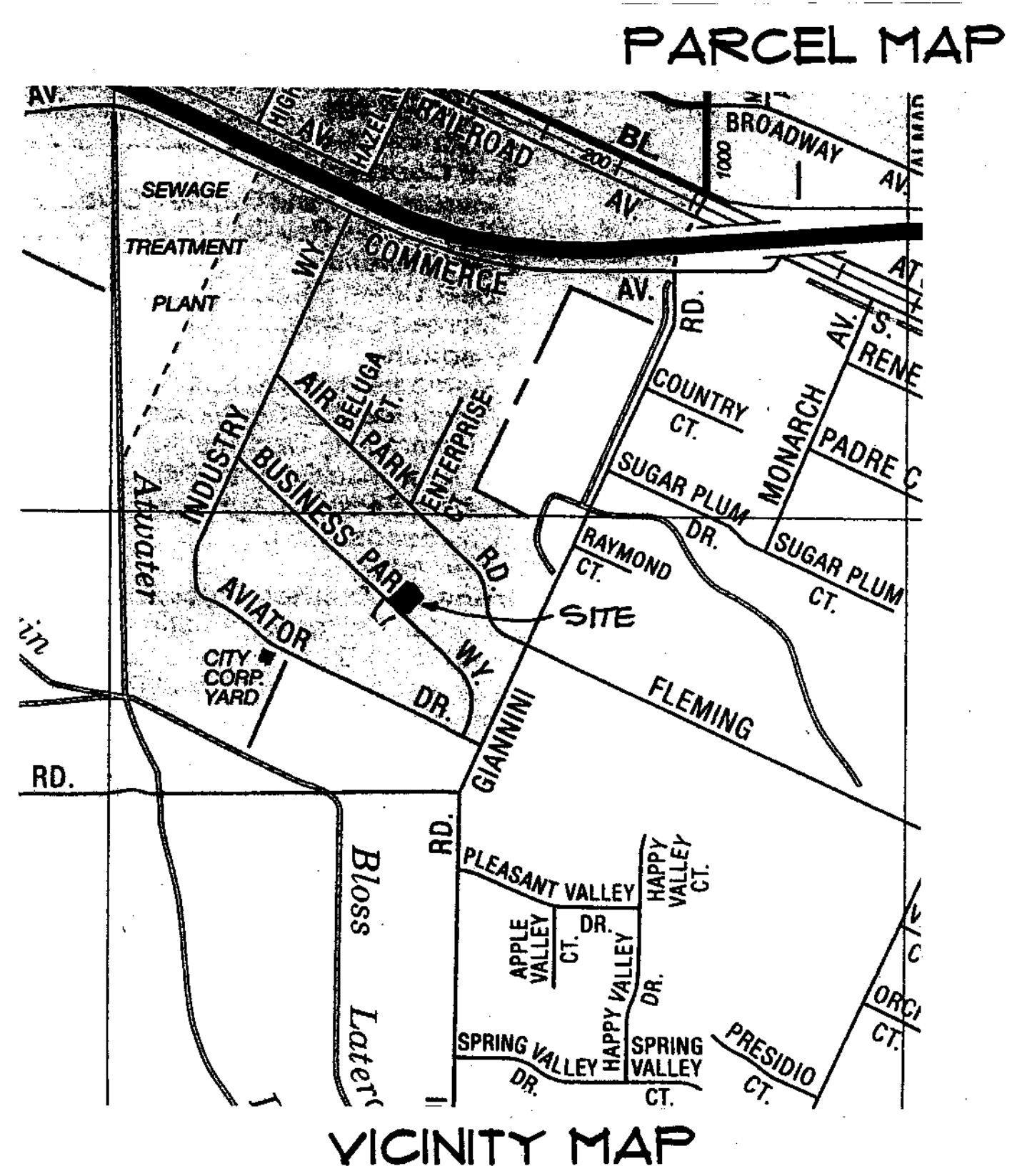
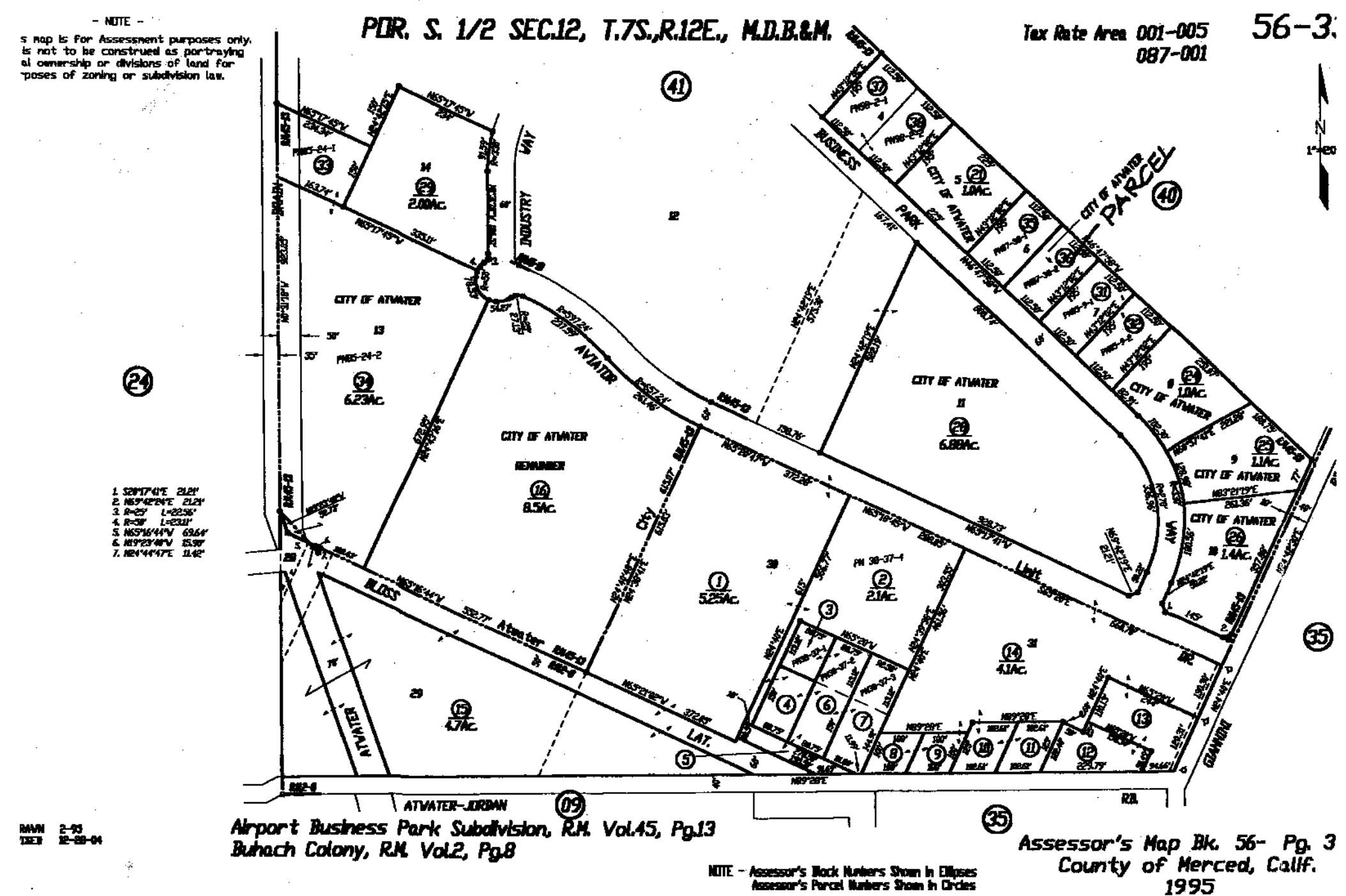
**Total Amount Due: \$ 143.00**

Note: Any of the above units which have been permanently removed from service may be marked through, and the corresponding fee for that equipment may be subtracted from the total amount due. Please sign and return with your payment a copy of each "Invoice Detail" page which has been so altered.

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Name (Please print) \_\_\_\_\_ Title \_\_\_\_\_ Phone \_\_\_\_\_ Signature \_\_\_\_\_

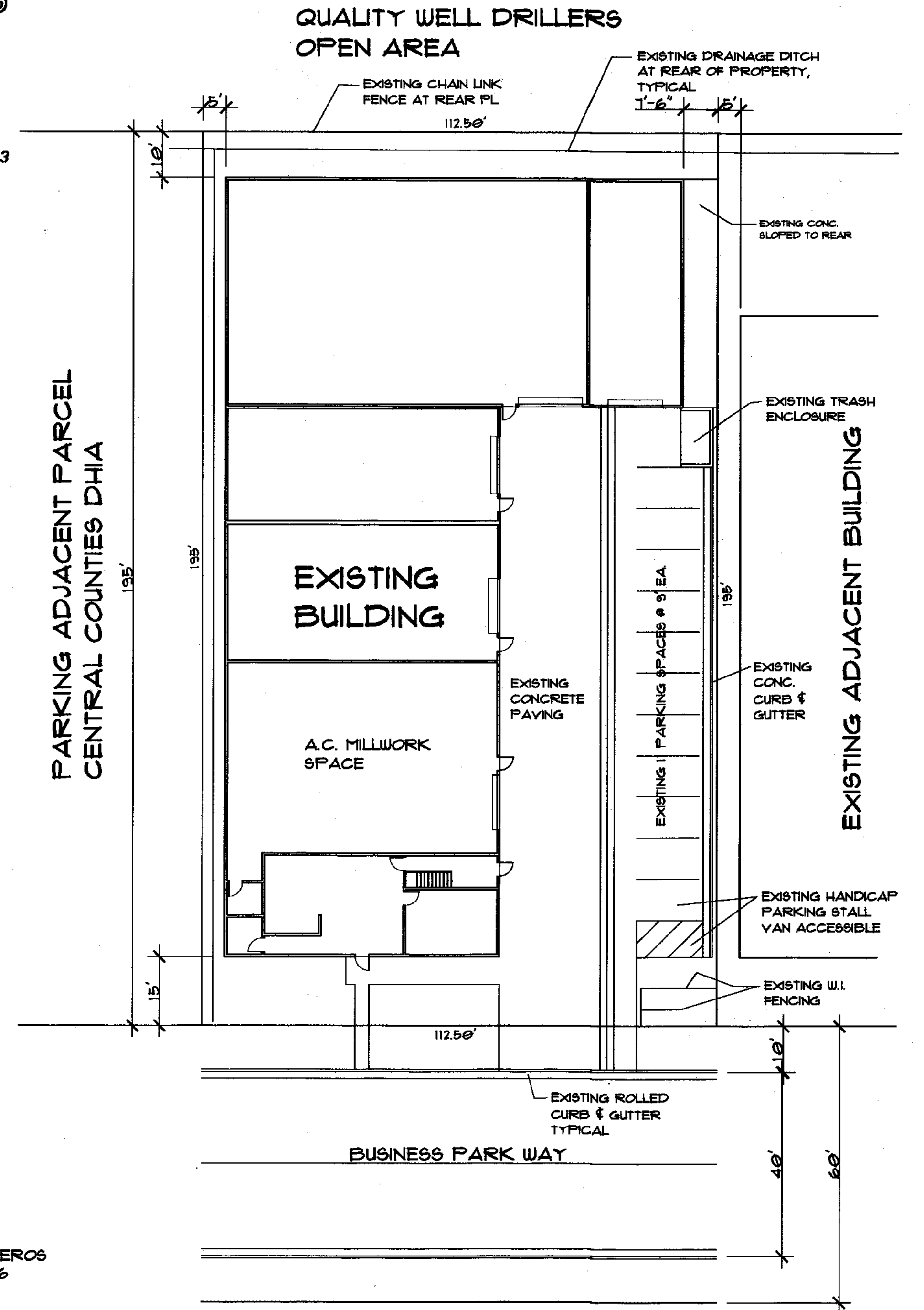




**PROJECT:**  
A.C. MILLWORK  
ALBERT CISNEROS  
235 BUSINESS PARKWAY  
ATWATER, CALIFORNIA 95301  
PHONE (209) 201-5342  
CONDITIONAL USE PERMIT

**EXISTING PARCEL INFORMATION**

OWNER	ALBERT CISNEROS
APN	056-330-036
PARCEL SIZE	21,895 S.F.
BUILDING SIZE	12,200 S.F.
LOT COVERAGE	56%
ZONING	INDUSTRIAL
OCCUPANCY	FI
BUILDING TYPE	V-B
GEN. PLAN DESIGNATION	LIGHT INDUSTRIAL
EXISTING USE OF PROPERTY	INDUSTRIAL OFFICE FITNESS
SURROUNDING USES	NORTH: INDUSTRIAL SOUTH: VACANT EAST: BUSINESS WEST: BUSINESS
PARKING	11 EXISTING SPACES 1 HANDICAP SPACE EXISTING
TRASH ENCLOSURE	EXISTING



EXISTING VACANT PARCEL

NOTE: SEE FLOOR PLAN AND EXTERIOR ELEVATIONS FOR SITE LIGHTING LOCATIONS

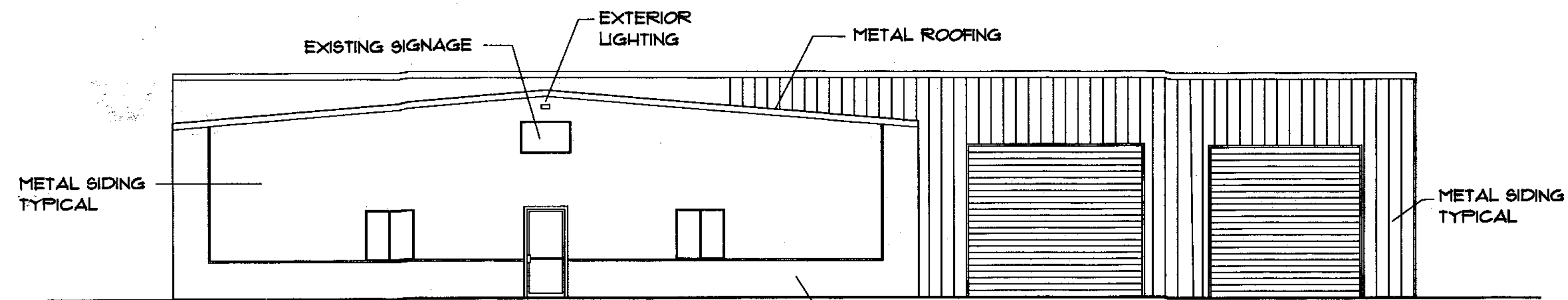
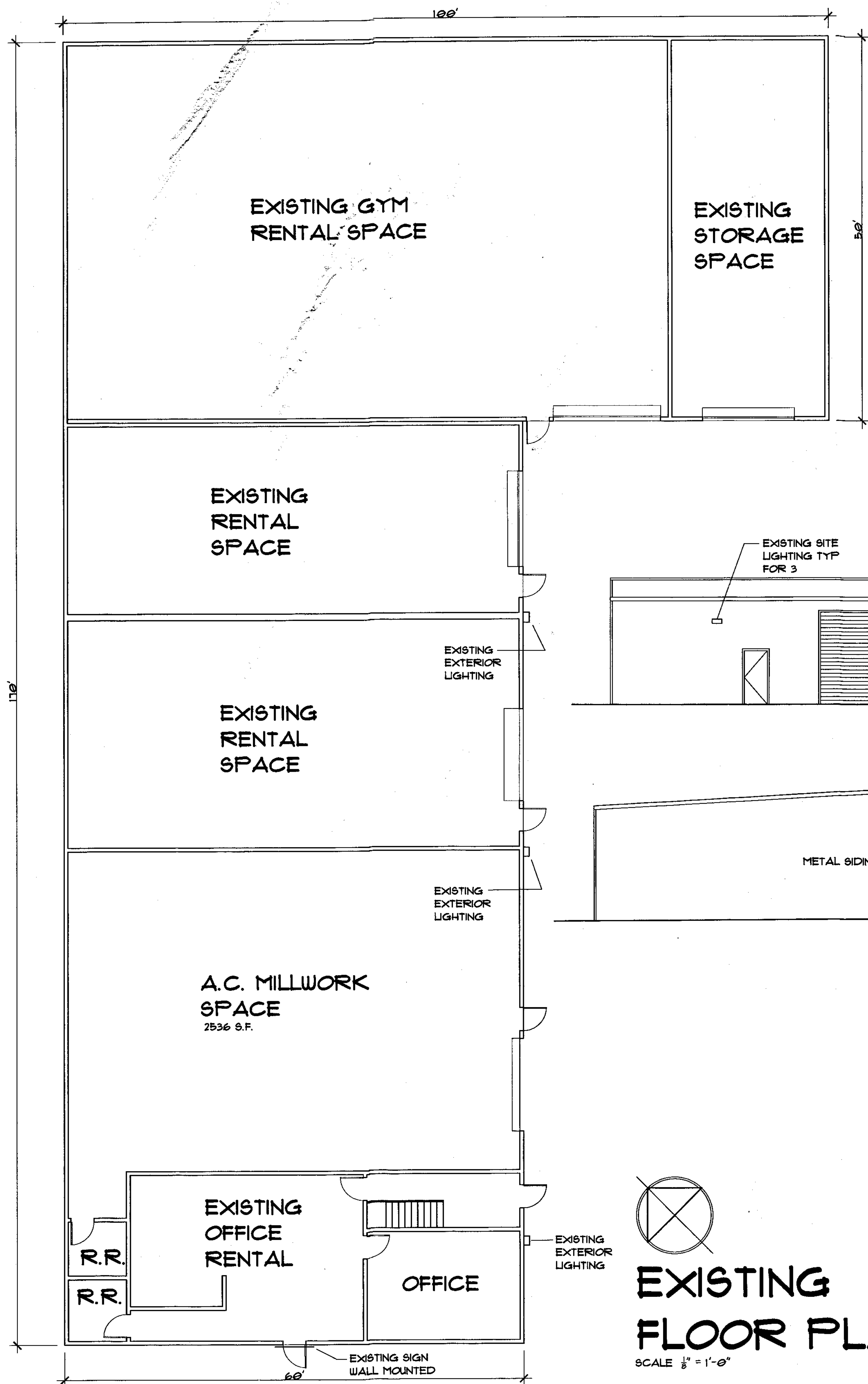
**SITE PLAN**  
SCALE 1" = 20'  
APN 056-330-036

**ALAN JENKINS DRAFTING CO.**  
5885 N. KROTIK COURT  
ATWATER, CA 95301  
PHONE (209) 786-2652  
EMAIL: ALJEN13@PACBELL.NET

SIGNED: *[Signature]*

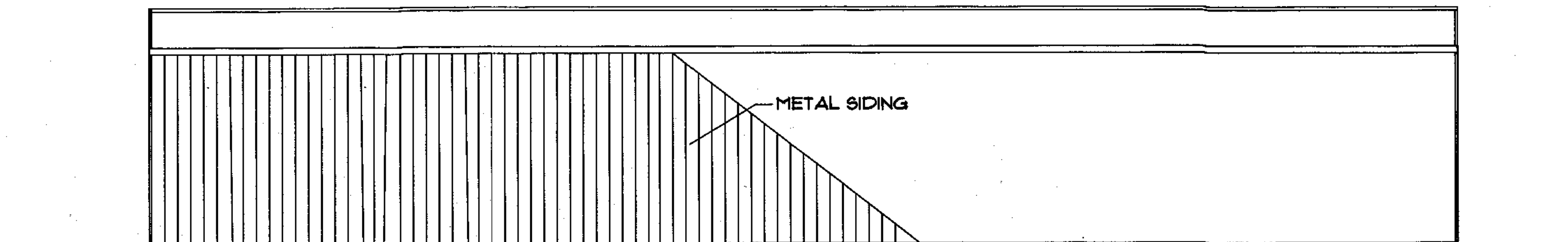
**A.C. MILLWORK**  
ALBERT CISNEROS  
A.C. MILLWORK  
235 BUSINESS PARKWAY  
ATWATER, CALIFORNIA 95301  
PHONE (209) 210-5342

DATE	
REVISIONS	
JOB NO.	
SHEET NO.	1

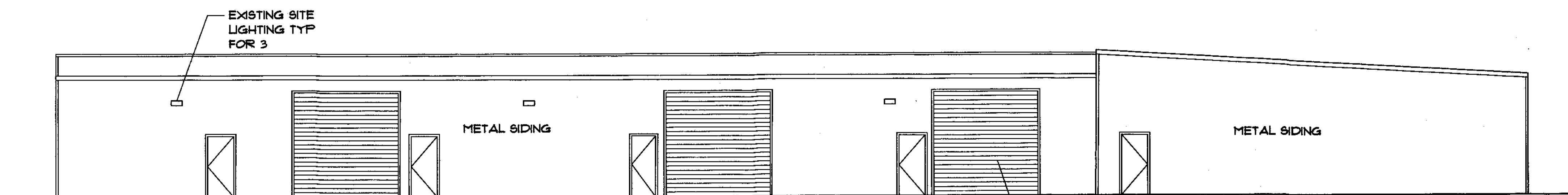


**SOUTH ELEVATION**

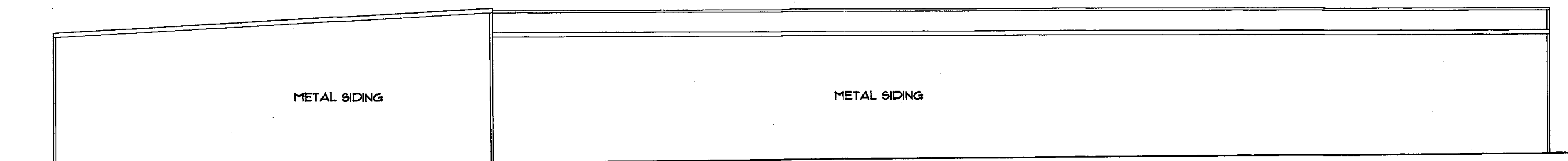
SCALE 1/8" = 1'-0"



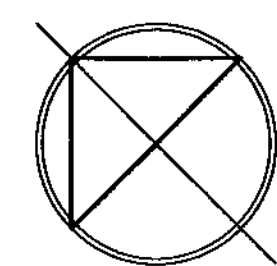
**NORTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**



**EXISTING FLOOR PLAN**

SCALE 1/8" = 1'-0"

**ALAN JENKINS DRAFTING CO**  
 8885 N. KROTK COURT  
 ATWATER, CA 95301  
 PHONE (925) 786-2852  
 EMAIL: ALAN@PACBELLET.NET  
 SIGNED: [Signature]

**A.C. MILLWORK**  
 ALBERT CISNEROS  
 A.C. MILLWORK  
 235 BUSINESS PARKWAY  
 ATWATER, CALIFORNIA 95301  
 PHONE (925) 210-5342

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 JOB NO: \_\_\_\_\_  
 SHEET NO: \_\_\_\_\_



## PLANNING COMMISSION AGENDA REPORT

### PLANNING COMMISSION

Jagandeep Mokha

Donald Borgwardt Ileisha Sanders

Harold Kadach Mayra Sanchez-Garcia

**MEETING DATE:** February 21, 2024

**TO:** Chair and Commissioners

**FROM:** Tom Navarro, Senior Planner - Consultant

**SUBJECT:** Public Hearing to consider making an Environmental finding that the project is categorically exempt under California Environmental Quality Act (CEQA), and adopting a resolution approving Tentative Map No. 23-22-0100, and Site Plan No. 23-22-0200 and recommending approval of Zone Change No. 23-22-0300 to the City Council to construct a 949 square foot coffee restaurant with a drive thru located at 1085 Bellevue Road, Atwater (APN 150-190-036)

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### **RECOMMENDED COMMISSION ACTION:**

It is recommended that Planning Commission:

1. Open the public hearing and receive any testimony given;
2. Make a finding that the project is categorically exempt under California Environmental Quality Act (CEQA) guideline section 15332, Class 32, "Infill Development Projects;" and
3. Adopt Resolution No. PC 0241-23 approving Tentative Map No. 23-22-0100, and Site Plan No. 23-22-0200 and recommending approval of Zone Change No. 23-22-0300 to the City Council for the construction of a Drive-Thru Coffee restaurant; located at 1085 Bellevue Road, Atwater (APN: 150-190-036).

### **I. BACKGROUND:**

The proposed Project consists of a Tentative Map, Site Plan Review and a Zone Change that has been submitted to the City of Atwater. The Project requests authorization to change the zoning district for APN 150-190-036 from Planned Development (PD-14) to General Commercial (C-G) District. The site plan for the proposed Project includes a 949 square foot building which will be utilized as a drive-thru coffee shop. The design of the

building includes a small covered walk-up service area but will not include any floor area for indoor seating.

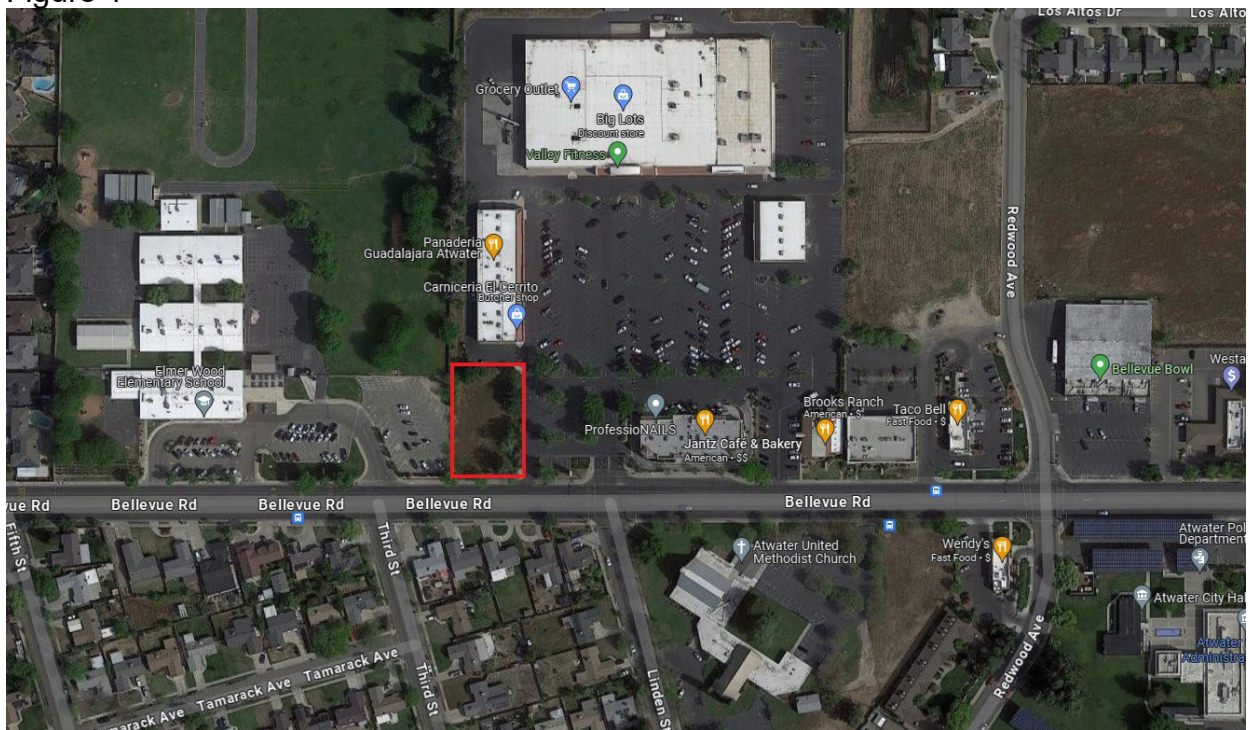
In addition to the building, the site plan also includes the construction of dual drive aisles, concrete curbs and sidewalks, a masonry trash enclosure, landscaping, a 12'x40' designated loading space and twelve (12) parking stalls. The Atwater Municipal Code requires that one parking space for every 35 square feet of floor space be provided within commercially zoned districts. However, the proposed drive-thru coffee shop will not have any indoor seating and minimal outdoor shade cover of approximately 240 square feet. While the code is not specific to parking requirements for outdoor shaded areas or walk-up service windows, staff believes the twelve (12) parking spaces being provided are sufficient for the proposed operation.

The site plan has undergone site plan review at the staff level to ensure it complied with all standards for setbacks, parking, landscaping, and all other requirements defined in the Atwater Zoning Ordinance and any other applicable standards. The proposed building design will include a stucco finish with blue and grey colors and stone façade and stone pillars. An additional review of the architectural design will be completed during the building permit process.

## **II. ANALYSIS:**

**Site Location:** The subject property is on the north side of Bellevue Road approximately 0.15 miles west of Redwood Avenue (refer to Figure 1) and is identified by Merced County as APN 150-190-036. The current site is used as an active detention basin for the existing commercial development immediately north and east of the subject property. Detention for the existing development and the proposed coffee shop will be required to be replaced at a one-to-one ratio. The existing commercial center was approved by the Planning Commission as a Master Plan and was specific to square footage and parking numbers as required under the Atwater Municipal Code. Because of this, any changes to the commercial center would normally require reconsideration by the Planning Commission to be approved. However, the developer for the project is proposing the development of an underground detention system which will fully replace the existing basin at a one-to-one ratio as required. The proposed underground detention system will be built on the existing commercial center site, outside of the proposed parcel and will temporarily affect parking while under construction. No structures will be affected by the proposed detention system and all parking will be fully replaced to its original condition or better by the developer.

Figure 1

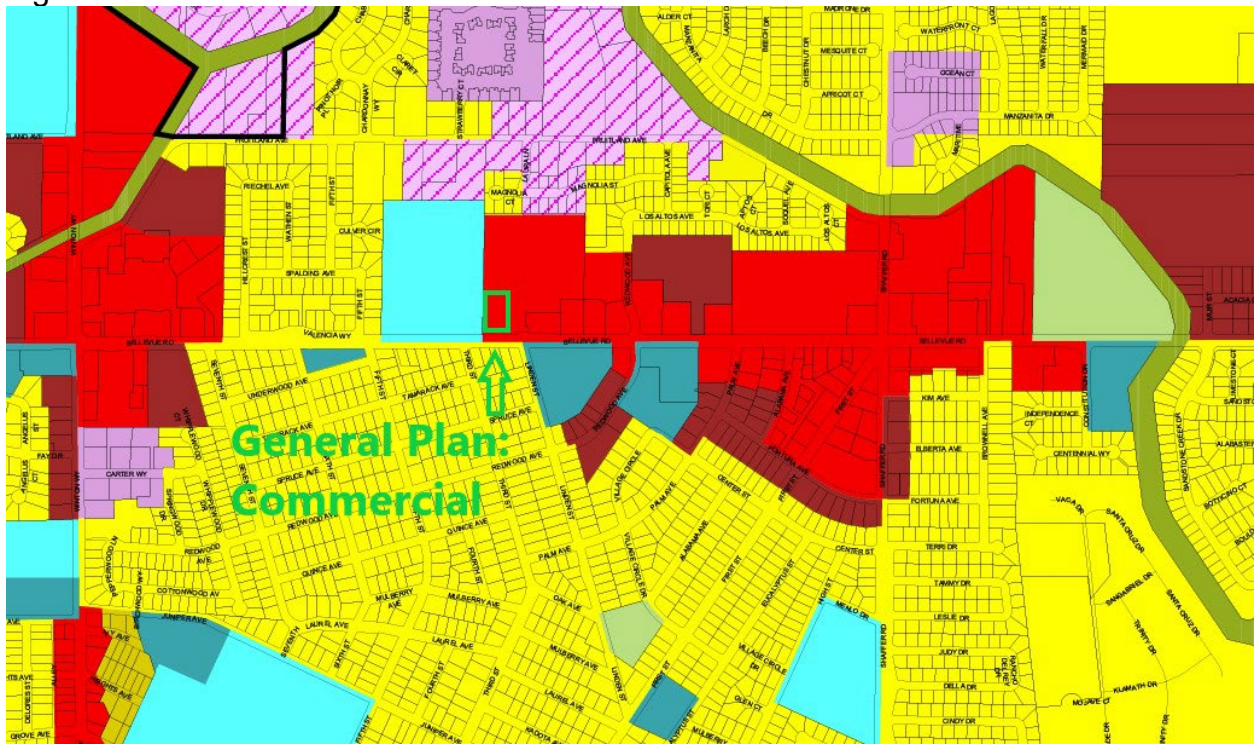


**Description of Surrounding Uses:** The parcels immediately to the north and the east of the subject property are zoned Planned Development (PD-14). The parcel to the west of the subject property are zoned Low Density Residential (R-1) and the parcels to the south of the subject property are zoned Low Density Residential (R-1) and Residential Transition (R-T).

**Land Use Designation:** The subject property has a land use designation of Commercial (See Figure 2) and is zoned as Planned Development (PD-14). The applicant is requesting a zone change from Planned Development (PD-14) to General Commercial (C-G), which will remain consistent with the existing land use designation.

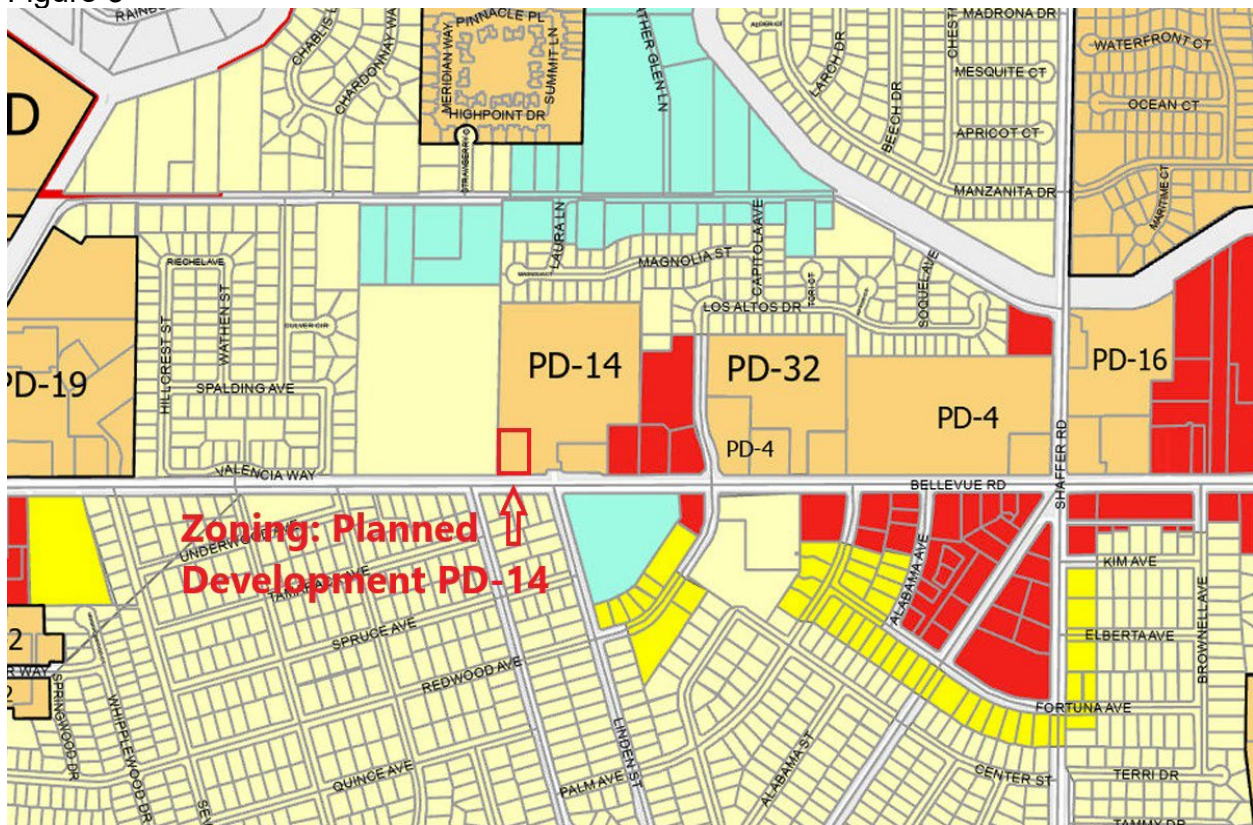
Commercial land uses are intended to accommodate a wide range of commercial activities ranging from regional commercial facilities to general and neighborhood commercial uses. Establishments may range from retail to service and entertainment uses. Further, the land use allows development to occur as a single structure, group of commercial uses, or regional mall type facility. The Project is proposed to facilitate the development of a single tenant commercial building that would be consistent with the land use designation.

Figure 2



**Zoning:** The subject property is zoned Planned Development (PD-14) (See Figure 3) and is intended for any and all types of land uses consistent with the underlying General Plan land use designation for the property. The Project is requesting a zone change to General Commercial (C-G) which is consistent with the existing land use designation. The General Commercial (C-G) zone district was established to provide a location for the retail, wholesale, and heavy commercial uses and services necessary within the City, but not suited to other lighter commercial zone districts. A zone change to General Commercial (C-G) supports the proposed use for a coffee shop.

Figure 3



**III. FISCAL IMPACTS:**

This item would not have any significant negative fiscal impacts. The development of this project would result in annual retail sales tax revenues. This item has been reviewed by the Finance Department.

**IV. LEGAL REVIEW:**

This item has been reviewed by the City Attorney’s Office.

**V. EXISTING POLICY:**

Under section 17.44.010 of the A.M.C – PD-14 Planned Development District is intended to encourage development of properties into unified developments and ensuring development is consistent with any City Council adopted design guideline.

**VI. INTERDEPARTMENTAL COORDINATION:**

An interdepartmental routing sheet was sent to all required departments and affected agencies for review and their comments and conditions have been incorporated.

**VII. PUBLIC PARTICIPATION:**

The public hearing was adequately noticed and advertised for the regularly scheduled Planning Commission hearing. The public will have the opportunity to provide comments on this item prior to Planning Commission action.

**VIII. ENVIRONMENTAL REVIEW:**

Pursuant to the California Environmental Quality Act, the project is categorically exempt under guideline section 15332, Class 32, "Infill Development Projects." This section states, "Class 32 consists of projects that are characterized as in-fill development meeting the conditions described in this section. (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

Furthermore, no new change in the surrounding area has occurred that would contribute to findings that would be considered significant or represent a major change to the physical environment.

**IX. STEPS FOLLOWING APPROVAL:**

Following approval of Resolution No. PC 0241-23, and a five-day appeal period, the recording secretary will supply a signed copy to the applicant.

Prepared by: Tom, Consultant Senior Planner

Submitted by: \_\_\_\_\_  
Greg Thompson, Interim City Manager

Attachments:

1. Resolution No. PC 0241-23
2. Uniform Development Application
3. Operational Statement
4. Tentative Parcel Map
5. Site Plan
6. Elevations





## PLANNING COMMISSION OF THE CITY OF ATWATER

### RESOLUTION NO. PC 0241-23

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ATWATER MAKING A FINDING THAT THE PROJECT IS CATEGORICALLY EXEMPT UNDER CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINE SECTION 15332: CLASS 32 “INFILL DEVELOPMENT PROJECTS”; AND APPROVING TENTATIVE MAP NO. 23-22-0100 AND SITE PLAN NO. 23-22-0200; AND RECOMMENDING THE CITY COUNCIL APPROVE ZONE CHANGE NO. 23-22-0300 TO CONSTRUCT A 949 SQUARE FOOT COFFEE RESTAURANT WITH A DRIVE THRU; LOCATED AT 1085 BELLEVUE ROAD ATWATER, CA (APN: 150-190-036)**

**WHEREAS**, at a duly noticed public hearing on February 21, 2024, the Planning Commission of the City of Atwater reviewed a request for construction of a 949 square foot coffee restaurant with drive thru located at the 1085 Bellevue Road Atwater, CA (APN: 150-190-036);and,

**WHEREAS**, this project is statutorily exempt under California Environmental Quality Act (CEQA) guideline 15332, Class 32 “Infill Development Projects;” and,

**WHEREAS**, \_\_\_ person(s) spoke in favor of the Tentative Map, Site Plan and Zone Change, \_\_\_ person(s) spoke in opposition of the Tentative Map, Site Plan, and Zone Change and \_\_\_ written comment(s) have been submitted either in opposition or in favor of the Tentative Map, Site Plan, and Zone Change; and,

**WHEREAS**, the proposed Tentative Map No. 23-22-0100, Site Plan No. 23-22-0200, and Zone Change No. 23-22-0300, will not have a detrimental effect on the health, safety, and welfare of the neighborhood nor have any adverse effect on the community; and,

**WHEREAS**, the Planning Commission has determined that the following findings can be made for Tentative Map No. 23-22-0100, Site Plan No. 23-22-0200, and Zone Change No. 23-22-0300 in support of the Project:

That the application proposes constructing a 949 square foot coffee restaurant with drive thru, on approximately 0.54 acres, located at 1085 Bellevue Road Atwater, CA 95301 (APN: 150-190-036)

The project site is consistent with the City's General Plan and Zoning Ordinance.

That this project is exempt from CEQA review under CEQA guideline section 15332, Class 3 "Infill Development Projects;", because section 15332 applies to development within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The public hearing for this Tentative Map, Site Plan, and Zone Change was adequately noticed and advertised.

Adoption of the resolution will not have a detrimental effect on the health, safety, and welfare of the neighborhood or any adverse effects on the community.

**NOW THEREFORE BE IT RESOLVED** that the Planning Commission of the City of Atwater does hereby approve Tentative Map No. 23-22-0100, Site Plan No. 23-22-0200 and recommend approval of Zone Change No. 23-22-0300 subject to the following conditions:

**BUILDING:**

1. All off-site improvements plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the City of Atwater standards and specifications.
2. Prior to issuance of a Building Permit a landscape and irrigation plan shall be designed by a registered landscape designer.
3. If property is located within a FEMA flood zone. Prior to approval of a grading plan, the developer shall apply to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developers engineer shall provide the required supporting data to justify the application.
4. All plan submittals and calculations and all other required documentation shall be submitted to the Building Division. Documents will be routed to proper departments for review and also sent out to third party plan checking services.
5. Apply for a permit application in person or online.
6. Plan Check fee payment (based on valuation of the project) contact Building Division
7. Five (5) sets of plans including three (3) wet stamped by a registered California Design Professional, unless noted accordingly per the "Professional Engineers Act" of 2001.

8. Three (3) sets of Energy, Structural, or Truss Calculations, Soils Report, California Green Code Documents, Special Inspection form (filled out by designer), Waste Management Plan and any other applicable calculations/specifications or documents.
9. Building plans shall reflect the most recent California Building Codes (Title 24) which consist of the Building Code volume 1 & 2, Wind Speed: Risk Category I: 100, Category II:  $V_{ult}$  110,  $V_{asd}$  85, Category III  $V_{ult}$  115,  $V_{asd}$  85
  - a. Wind Exposure: B Urban and Suburban, C in any quadrant for a distance of more than 600 feet
  - b. Seismic Design Category: DO
  - c. Weathering: Negligible, Winter design temp. 25 degrees F
  - d. Air Freezing Index: 1500, mean annual temp 60 degrees F
10. Green Code, Electrical Code, Mechanical Code, Plumbing Code, Fire Code including Appendix C, Appendix D, Appendix I, Appendix J, California Energy Commission requirements, State and Federal Accessibility requirements, Atwater Municipal Codes (AMC), requirements from Atwater Fire
11. Department, Engineering, Planning and Public Works Departments respectively.
12. Once plans are approved by the City of Atwater the Building Division will contact the applicant with fee totals and approximate time when plans will be ready for pick up.
13. Building Permits cards and city approved plans and calculations shall be on site at all times when an inspection is called in.
14. The construction site shall have an address posted that will be easy for inspectors, and emergency services to see.

**ENGINEERING:**

15. The developer shall provide and show on the site Plan all necessary easements for access, streets, alleys, sewer and water facilities, utilities and drainage facilities, irrigation facilities and other facilities as requested by the City. Utility easements shall be a minimum of a clear fifteen feet (15') for one utility and a clear twenty feet (20') for two or more utilities or as specified by basic engineering design guidelines. Easements shall not be split between property lines unless determined otherwise by the City Engineer. The easement widths identified are minimums and in certain circumstances, additional easement widths may be required as determined by the City Engineer.

16. The developer shall pay all applicable processing fees, permit fees, City development fees, fire fees, school fees, drainage fees and other public entity fees in effect at the time of the issuance of the applicable permit.
17. The Developer shall submit a building permit application package which shall include grading plans, a permit application, and plan check and inspection fees and deposits to the Community Development Department. Grading plans shall be approved prior to or concurrently with the approval of the Improvement Plans.
18. The Developer shall provide joint trenching for telephone, gas, electric, and cable TV service for the Development in a combined utility plan submitted with the Building Permit.
19. Meters, hydrants, poles, etc. shall be located clear of the sidewalk and driveways or as determined by the City Engineer. Final locations and the number of such facilities shall be determined at the time the improvement plans are reviewed.
20. All improvements, public and private, shall be designed and constructed in accordance with the most recent edition of the City of Atwater Improvement Standards and Specifications and the most recent edition of the Caltrans Standard Plans and Specifications, all applicable federal, state, and local ordinances, standards, and requirements. Should a conflict arise, the governing specification shall be determined by the City Engineer.
21. Developer shall repave frontage area of Bellevue Road to the half section of the roadway. The design and construction of all frontage improvements shall be at the developer's sole expense and shall be constructed prior to issuance of any certificate of occupancy.
22. In addition to otherwise applicable development fees, if the subject property is located within an existing or a proposed Benefit District, the developer shall pay the Benefit District fee as set forth in the Engineer's Report for the applicable Benefit District. Fees shall be charged and paid at the time of building permit issuance. The fees may be adjusted over time according to an index approved by City Council or as allowed by law.
23. The applicant shall secure and comply with all applicable federal, state and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
24. The project shall establish or annex into an existing Community Facilities District for the on-going Public Services operations including Fire and Police services.
25. The project shall establish or annex into an existing Lighting and Drainage District along with a Landscaping Maintenance District for the on-going maintenance of

project lighting, open space areas and any proposed common landscape areas such as parks, landscape medians and parkway strips.

26. An encroachment permit shall be required for any construction to be done in the public right of way or in easements. Please note for any public improvement required sufficient warranty may be required by the city. The encroachment permit shall be obtained prior to the start of said work. The permit fees shall be determined per the current adopted Miscellaneous Fee Schedule.
27. Where the finished grade of the property is in excess of twelve inches (12") higher or lower than the abutting property or adjacent lots, a retaining wall or other suitable solution acceptable to the City Engineer shall be required, and any fence or wall shall be measured from the top of grade on the lower side of the retaining wall or slope. Retaining walls shall be shown on grading plans, shall be structurally engineered if over four (4) feet in height (from base of foundation to top of wall), including surcharge, and will require a separate building permit.
28. The developer shall coordinate all grading and improvements with adjacent property owners to the satisfaction of the City if required due to an encroachment. Any grading or drainage onto adjacent properties shall require written approval of those property owners affected, with said approval provided to the City Engineer.
29. All broken, cracked or otherwise damaged public improvements, such as curb, gutter, and sidewalk, shall be saw cut, removed and replaced in accordance with applicable city standards to the satisfaction of the City Engineer.
30. For the proposed on-site improvements and off-site improvements, the developer shall cause Improvement Plans to be prepared. The plans shall be prepared by a Licensed Civil Engineer or under his/her direction. The plans shall be prepared on 24" X 36" plan sheets and to a reasonable scale. The plans shall be in a format to be approved by the City Engineer and shall show all of the proposed grading and on-site and off-site improvements for the proposed development. The title of the plan shall be shown at the top of Sheet No. 1. Sheets shall be numbered in consecutive order. An index showing the sheets contained within and as a part of the Site Improvement Plan shall be shown on Sheet 1. Separate On-Site and Off-site Improvement plan sets shall be submitted for City review.
31. Prior to occupancy, the developer shall supply the City with both hardcopy and electronic (Adobe PDF and AutoCAD file formats) showing plans that reflect the project as it was built (As-Builts or Record Drawings) to the satisfaction of the City Engineer. Off-Site Improvement Plans hardcopy shall be on 4-mil minimum thickness translucent mylar film.
32. The developer shall install water services to the proposed development. Individual water services shall be provided for potable, landscape, and fire protection

purposes, of adequate size for the proposed development. All services shall be metered.

33. Developer shall install a reduced pressure principle (RPP) backflow device for potable water and an approved backflow device for irrigation water. All services shall be metered, a Sensus "Flex-Net" radio read meter shall be used. Services shall include a backflow prevention device enclosure, mounted on a concrete pad. The RPP device shall include unions on both riser pipes for easier maintenance. RPP devices shall be shown on the Site Improvement Plan including, brand names and types.
34. All utility trenches or excavations shall be excavated, backfilled, and compacted in accordance with applicable City Standards and with any conditions for paving structural sections included within this resolution.
35. Applicant shall abandon and remove from the site any existing irrigation lines and other structures found. Lines shall be plugged at the property line with concrete.
36. Any water wells found during construction shall be destroyed and/or demolished in accordance with approved City Standards, requirements, and/or permits.
37. Site design and construction shall include the detention of storm water runoff. Storm drainage facilities in the project area discharge into facilities of the Merced Irrigation District (MID). If necessary, Owner will enter into "Storm Drainage Agreement with the MIDDID No. 1", paying an annual maintenance fee and any connection fees as established by the MIDDID No. 1 Board of Directors and as collected by MIDDID No. 1 and on the Merced County Tax Rolls. Existing flows and flows from proposed development are to be part of the storm drainage calculations for the development to be submitted to the City Engineer.
38. Any portion of the drainage system that conveys runoff from public streets shall be installed within a dedicated drainage easement or public street.
39. Hydrologic and hydraulic calculations for determining the storm system design, with water surface profile and adequate field survey cross section data, shall be provided satisfactory to the City Engineer, or verification shall be provided that such calculations are not needed. Applicant shall be required to detain the full runoff volume of a 100 year 24 hr storm event for the existing planned Development or Applicant shall replace the detention basin capacity at a 1 to 1 compensatory replacement of the pre-existing capacity (55,348 cubic feet). Infiltration surface area must be equal or greater than infiltration area of the pre-existing storm detention basin.
40. Developer shall provide for a drainage system capable of handling and disposing of all surface water originating within the Development and all surface water that may flow onto the Development from adjacent lands. Said drainage system shall include

any easements and structures required by the City Engineer to properly handle the drainage and shall be designed so as to prevent ponding of surface water that would create a public health hazard or nuisance.

41. Developer shall comply with Chapter 13.22 of the Atwater Municipal Code "Storm Water Management and Discharge Control" and with the City of Atwater Post Construction Standards Plan.
42. Developer shall process a Post-Construction Stormwater BMP Operation and Maintenance Plan for review and approval to the satisfaction of the City Engineer. Applicant shall comply with the provisions of the City of Atwater Post-Construction Standards Plan.
43. Owner shall execute any agreements identified in the Post-Construction Standards Plan that pertain to the transfer of ownership and/or long-term maintenance of stormwater treatment or hydrograph modification BMPs to the satisfaction of the City Engineer and the Director of the Community Development Department.
44. Developer shall ensure finished pad elevations are at a minimum one foot above the 100-year (1% chance) base flood elevation as shown on the latest Federal Emergency Management Agency (FEMA) floodplain maps for Merced County, California. The developer shall be responsible for all necessary activities, applications, documentation, and costs to amend floodplain maps for their development [Letter of Map Amendment Revision (LOMAR)], and for obtaining a Floodplain Permit from the Community Development Director for all projects on parcels identified in a Zone "A" on the FEMA Flood Insurance Rate Maps for the City of Atwater. Application for LOMAR shall be prepared and submitted by the developer prior to grading permit issuance or final map approval, whichever occurs first.
45. Detailed plans reflecting the design and construction of all public infrastructure improvements for street, sewer, water, and storm drain, both on- and off-site, shall be in conformance with the adopted Infrastructure Master Plans and as directed by the City Engineer. Developer shall have written approval from the City Engineer for any variations from the City's Master Plans prior site plan approval.
46. Ensure that the site allows for the maneuverability of fire trucks, refuse vehicles, and any emergency service vehicles around the entirety of the site. Permanent site furnishings shall be installed to maintain sufficient clearance for emergency vehicular turnaround where designated on plan.
47. All fire apparatus access lanes on the site plan shall be dimensioned to ensure their locations and clearances meet the 2022 California Fire Code requirements for the proposed building height. Applicant shall provide a swept-path turning analysis based on City of Atwater ladder truck apparatus for review and approval by the Engineering Division and Atwater Fire department prior to preparation and submittal of any site improvement plans.

48. Where applicable, NO PARKING – FIRE LANE signage and/or marking(s) shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof.
49. Developer to provide sewer loading calculations and report for the development.
50. Any septic systems found during construction shall be destroyed in accordance with approved Merced County Environmental Health requirements.
51. Developer shall properly abandon or relocate all utilities as necessary or required.
52. Developer shall comply with the requirements of all public utility companies.
53. All underground utilities shall be installed in conformance with existing City policy including without limitation the City of Atwater Subdivision and Zoning Ordinances.
54. The installation (if required) of all gas, electric, sewer, and water lines and any other below-surface utilities is to take place before the construction of any concrete curbs, gutters, sidewalks, and the surfacing of streets.
55. Developer shall install off-street improvements in improvement plans approved by the City Engineer to provide safe traffic conditions.
56. Applicant shall comply with all requirements of the San Joaquin Valley Air Pollution Control District (SJVAPCD).
57. The project shall be in compliance with the most recent Americans with Disabilities Act (ADA) regulations.
58. Sight distance requirements at all street intersections shall conform to City Standards.
59. The applicant shall submit a geotechnical report together with improvement plans to the City Engineer for review and approval. The report shall include the information and be in the form as required by the City Engineer and all applicable codes.
60. Developer shall submit three (3) sets of landscaping and irrigation plans to be reviewed and approved by the City of Atwater Public Works Division. Said plans shall be prepared by a landscape architect licensed in the State of California. All landscaped areas shall be equipped with seven-day automatic irrigation systems with battery back-up. All landscaping shall always be maintained and said maintenance shall be the responsibility of the developer. Specific landscaping for screening shall have an appearance of mature growth subject to a field check and approval by the Community Development Director prior to Certificate of Occupancy.



61. The developer shall plant shade trees along street frontage in accordance with the 2017 Urban Forest Master Plan.
62. All slope banks in excess of two (2) feet in vertical height shall be landscaped and irrigated for erosion control and to soften their appearance as follows:
63. one 15-gallon or larger size tree per each 150 sq. ft. of slope area, one 1- gallon or larger size shrub per each 100 sq. ft. of slope area, and appropriate ground cover 12-24 inches on-center. In addition, slope banks in excess of five (5) feet in vertical height also include one 5-gallon or larger size tree per each 250 sq. ft. of slope area. Trees and shrubs shall be planted in staggered clusters to soften and vary slope plane. Slope planting required by this condition shall include a permanent irrigation system to be installed by the developer prior to occupancy.
64. All planting shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning of debris and trash, fertilizing and regular watering. Whenever necessary, planting shall be replaced with other plant materials to ensure continued compliance with applicable landscaping requirements. Required irrigation systems shall be fully maintained in sound operating condition with heads periodically cleaned and replaced when missing to ensure continued regular watering of landscape areas, and health and vitality of landscape materials.
65. Final inspection for occupancy permits will not be granted until all construction and landscaping is complete in accordance with approved plans.
66. The Developer shall construct, to the satisfaction of the Director of the Department of Public Works, a public street lighting system that complies with the following conditions:
  - a. All fixtures shall use an LED light source.
  - b. All light standards, heads, and spacing shall be per City Standards. Proposed lights of an ornamental nature shall not exceed 16 feet in height designed to the satisfaction of the Community Development Director and shall be spaced and located to the satisfaction of the City Engineer.
  - c. Deposit with the City of Atwater, through the Department of Public Works, a cash deposit sufficient to:
    - i. Energize, maintain, and operate the street lighting system until tax revenues begin accruing from the Development for those purposes.
    - ii. Pay the cost to process lighting district administration of this project
67. Applicant shall submit a complete area water pressure availability study for the Project prior to approval of improvement plans. If the study indicates that the present system is inadequate, Applicant must provide water system modelling prepared with a software simulation program that identifies any remedial action necessary to abate

the deficiency and shall submit improvement plans for plan check and take all necessary actions at the applicant's expense.

68. Applicant shall submit a study addressing on- and off-site storm water and/or sewer system capabilities. If the study indicates that the present systems are inadequate, Applicant must provide improvement plans and calculations for additional or upgraded storm water and/or sanitary sewer facilities, including off-site improvements, to correct storm water run-off and sanitary sewer demands anticipated for upstream build-out in accordance with the Atwater General Plan, and take all necessary actions at the applicant's expense.
69. 6-inch (6") high Portland Cement Concrete curbing shall be provided between all paved areas and landscaped areas. In addition, curbing between the length of any parking space and a landscaped area shall include a 12" wide "courtesy curb." Curb cuts shall be allowed for LID drainage designs.
70. All Conditions of Approval for this project shall be written by the project developer on all building permit plan check sets submitted for review and approval. These Conditions of Approval shall be on, at all times, all grading and construction plans kept on the project site. It is the responsibility of the project developer to ensure that the project contractor is aware of, and abides by, all Conditions of Approval. Prior approval from the Community Development Director must be received before any changes are constituted in site design, grading, building design, building colors or materials, etc.

**PLANNING:**

71. The Planning Commission shall retain the right to reconsider Tentative Map No. 23-22-0100 and Site Plan No. 23-22-0200.
72. Applicant shall comply with all Commercial Design Guidelines. Minor changes to the architectural style or square footage shall be reviewed and approved by the City Planner.
73. All on-site graffiti shall be the responsibility of the property owner. All graffiti shall be abated in accordance with City Graffiti Ordinances.
74. Applicant shall comply with all the conditions of approval prior to issuance of a business license.
75. Applicant shall comply with all conditions of the Merced County Division of Environmental Health, including the handling of all potentially hazardous material.

76. If any construction is to occur associated within the project boundary the applicant shall submit Tenet Improvement (T.I.) plans to address the changes to the interior of the building. Plans shall be generated by an Architect or Engineer licensed within the State of California.
77. The parcel map shall not be recorded until authorization is given by the City Council for the City Clerk to sign the parcel map.
78. Applicant shall submit a sign application prior to installation of all proposed signs to be installed on buildings or onsite shall be reviewed and approved by the City.
79. The site of the business shall always be kept clean and free of litter. Trash and garbage shall be removed from the site at the end of each day.
80. The applicant shall secure and comply with all applicable federal, state and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
81. This approval is dependent upon and limited to the proposals and plans contained, supporting documents submitted, presentations made to staff, and Planning Commission as affirmed to by the applicant. Any variation from these plans, proposals, supporting documents, or presentations is subject to review and approval prior to implementation.
82. The applicant or applicant's successor in interest shall indemnify and defend and hold harmless the City of Atwater, its agents, officers and employees from any and all claims, actions, or proceedings against the City of Atwater, its agents, officer and employees to attack, set aside, void or annul any approval by the City of Atwater and its advisory agency appeal board or legislative body concerning this application, which action is brought within applicable statutes of limitation. The City of Atwater shall promptly notify the applicant or applicant's successor in interest of any claim or proceedings and shall cooperate fully in the defense. If the city fails to do so, the applicant or applicants' successor in interest shall not thereafter be responsible to defend, indemnify or hold the City harmless. This condition may be placed on any plans or other documents pertaining to this application.

**POLICE:**

83. Any external electricity is secured to prevent theft of utilities.
84. Addition of adequate lighting to prevent unwanted access or camping on the property.
85. Any external water is secured to prevent theft of utilities.

The foregoing resolution is hereby adopted this 21st day of February, 2024.

**AYES:**  
**NOES:**  
**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**CHAIR**

**ATTEST:**

\_\_\_\_\_  
**GREG THOMPSON,**  
**INTERIM CITY MANAGER**



**City of Atwater**  
**Uniform Development Application**  
750 Bellevue road

**Phone: (209) 357-6342/357-6349**

**Fax: (209) 357-6348**

**APPLICATION FORM**

**Please indicate the types of application requested**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Administrative Application   | <input type="checkbox"/> Conditional Use Permit | <input checked="" type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Amend Planned Development    | <input type="checkbox"/> Development Agreement  | <input type="checkbox"/> Time Extension           |
| <input type="checkbox"/> Amend Conditional Use Permit | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Variance                 |
| <input type="checkbox"/> Application for Appeal       | <input type="checkbox"/> Lot Line Adjustment    | <input type="checkbox"/> Zone Change              |
| <input type="checkbox"/> Architectural Review         | <input type="checkbox"/> Lot Merger             | <input type="checkbox"/> Zoning Text Amendment    |
| <input type="checkbox"/> Certificate of Compliance    | <input checked="" type="checkbox"/> Site Plan   | <input type="checkbox"/> Other                    |

**Describe Proposed Project:**

PROPOSED 949 SF COFFEE RESTAURANT WITH DRIVE THRU. PROJECT PROPOSES TO DEVELOP THE PROPERTY WITH 14 PARKING STALLS,  
PAVEMENT, SIDEWALK, LANDSCAPING AND IRRIGATION. THE PROJECT WILL PROVIDE FOR BICYCLE RACKS AND PEDESTRIAN ACCESS.

PROPOSED 2 LOT PARCEL MAP

**APPLICANT:** Michael Fillebrown **PHONE NO:** (559) 930-6712

**ADDRESS OF APPLICANT:** 2828 Enterprise Ave., Clovis, CA 93619 **EMAIL:** mfilebrown4@gmail.com

**PROPERTY OWNER:** Ethan Conrad Properties **PHONE NO:** (559) 930-6712

**ADDRESS OF PROPERTY OWNER:** 1300 National Drive, Suite 100, Sacramento, CA 95834

**ASSESSOR'S PARCEL NUMBER:** PORTION OF 150-190-036

**Address/General Location of Property:** NWC Corner of Bellevue And Linden

**EXISTING ZONING OF PROPERTY:** PD-14

**GENERAL PLAN DESIGNATION OF PROPERTY:** ~~PD-14~~ Commercial

**Indemnity Statement**

To the fullest extent permitted by law, Developer, and Developer's successor in interest, shall defend, indemnify, and hold harmless City, and its agents, elected and appointed officials, officers, employees, consultants, and volunteers (collectively, "City's Agents") from any and all liability arising out of a claim, action, or proceeding against City, or City's Agents, to attack, set aside, void, or annul an approval concerning the project, the Development Agreement, the Conditional Use Permit, or Subsequent City Approvals. Failure by Developer to indemnify City, when required by

this condition of approval, the Development Agreement, and the Indemnification Agreement, shall constitute a material breach of the Development Agreement, the Conditional Use Permit, and Subsequent City Approvals, which shall entitle City to all remedies available under law, including, but not limited to, specific performance and damages. Failure to indemnify shall constitute grounds upon which City may rescind its approval of any applicable Conditional Use Permit. Developer's failure to indemnify City shall be a waiver by Developer of any right to proceed with the project, or any portion thereof, and a waiver of Developer's right to file a claim, action, or proceeding against City, or City's Agents, based on City's rescission or revocation of any Conditional Use Permit, Subsequent City Approvals, or City's failure to defend any claim, action, or proceeding based on Developer's failure to indemnify City. This condition may be placed on any plans or other documents pertaining to this application.

I have read, agree and accept the City Indemnity agreement

Signed: Michael Fillebrown

Applicant

Date: 11/27/2023

There are no deed restrictions on this land that would prohibit this type of use or development. I (we) \_\_\_\_\_ depose and say that I am the property owner involved in this application and the forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Signed:  11/21/23

PROPERTY OWNER

DATE:

PROPERTY OWNER

DATE:

## **CITY OF ATWATER UNIFORM DEVELOPMENT APPLICATION CHECKLIST**

**PROJECT APPLICATION: ALL ITEMS ON THE CHECKLIST MUST BE SUBMITTED WITH YOUR APPLICATION AND ALL MAPS PROPERLY FOLDED OTHERWISE IT WILL NOT BE ACCEPTED!**

- One (1) completed copy of the combined Development Application form.
- Appropriate Schedule Fees (make checks payable to the City of Atwater).
- One (1) completed and signed copy of Agreement to Pay Processing Costs. (Attached)
- Ten (10) 36x24-inch site plans and five (5) 11x17 reduction of the site plan (See site plan requirements). Be prepared to submit and electronic copy of the site plan.
- Ten (10) 36x24-inch site plans and five (5) 11x17 reduction of the elevation drawings and copies of site plan (See site plan requirements). Be prepared to submit and electronic copy of the site plan.
- Ten (10) 36x24-inch site plans and five (5) 11x17 reduction of the floor plans and copies of site plan (See site plan requirements). Be prepared to submit and electronic copy of the site plan.
- Copies of the Tentative Parcel Map/Tentative Subdivision Map and will require to contain the information outlined in the Atwater Municipal Code Chapter 16 Section 16.20.020 attached to this form (See tentative map requirements).
- A letter signed by the property owner authorizing representation by a person or agency other than him/herself
- Legal description of the entire project site in a metes and bounds format.
- Preliminary title report, chain of title guarantee or equivalent documentation not older than (6) months which shows any and all easements affecting the project site.
- Ten (10) 18x24-inch site plans and five (5) 8-1/2x11 identifying the proposed Lot Line Adjustment, Parcel merger or Parcel Unmerge, and all existing features, including but not limited to easements, utilities, and structures.
- Vicinity Map
- Identification of existing and proposed lot area(s).

Project Checklist Continued

Hazardous Waste and Substances Site List Disclosure form completed and signed. The California Government Code requires that applicants for all development projects, excluding building permits, must check the Comprehensive Hazardous Waste and Substances Statement list to determine if the site of the proposed project is on the list. This is to be completed as part of the application materials, The Purpose of this is to provide information to be verified and used in the environmental Review of the project.

Operational Statement, which should be printed on its own sheet of paper and have the following information: Nature of the proposal including all types of uses-sales, processing, manufacturing etc, detail existing, proposed, and future operations, brief summary of operation hours to include peak hours, estimated number of personal during peak hours, vicinity map with highlighted truck routes, proposed method of waste removal and disposal (show on plot plan trash receptacle), how is the proposed project consistent with nearby uses, uses of all structures, size of buildings.

Staff Initials \_\_\_\_\_



Date received \_\_\_\_\_

12-19-2023



## **Atwater Municipal Code Chapter 16 Section 16.20.020 Tentative Map Requirements**

The following information shall be delineated on the tentative map or contained in a written statement to accompany each map:

- Tract number as obtained from the City Engineer and name of the subdivision, if the subdivider so desires;
- Sufficient legal description of the land to describe the location of the proposed subdivision;
- Name and address of the owner and subdivider;
- Name and address of the person preparing the map;
- If adjoining land has been subdivided, the recordation data of the map shall be shown;
- Approximate acreage and boundary lines of the subdivision;
- North point, scale and date;
- Location, width and proposed names of all streets within the boundaries of the subdivision;
- Location and width of easements;
- Approximate street centerline radii of curves;
- Names of utility companies and location of existing and proposed public utilities;
- Existing culverts and drain pipes;
- Watercourses and channels including proposed facilities for control of storm waters;
- Railroads and other rights and other rights-of-way;
- Dimensions of reservations;
- Adjoining property and lot lines;
- Lot lines and approximate dimensions;
- The approximate location of areas subject to inundation of storm water overflow and the location width and direction of flow of all water courses;
- Location of all existing buildings, structures and trees;
- Proposed source of water supply;
- Proposed method of sewage disposal and storm water drainage;
- Proposed street improvements;
- Proposed protective covenants regarding use of property and building lines;

Tentative Map Requirement Continued

- Proposed tree planting which shall conform substantially as to species and location with the street tree plan of the City and otherwise with the regulations of Chapter 12.32 Trees;
- Proposed public areas; location, names and widths of existing and proposed streets, highways, alleys, easements, railroads, and other open spaces in adjacent areas;
- Contours with maximum interval of two feet, unless waived by the City Engineer;
- Existing use of property immediately surrounding;
- Proposed land use of lots;
- Existing zoning and proposed zoning;
- If private streets are proposed, the method of maintenance and financing such maintenance;
- A description of the proposed fencing to provide a physical and visual barrier between the subdivision and all open ditches, drains and canals;
- Proposed unit boundary lines, if the subdivision is to be developed in more than one unit.

## Site Plan Checklist

- Address and County Assessor's Parcel Number.
- Name, address and telephone number of applicant, architect and/or engineer.
- Summary legend describing project information including zoning and lot size. For new construction provide summary of units permitted and proposed building coverage permitted and proposed off-street parking permitted and proposed, unit square footage breakdown.
- Vicinity Map (showing property location to major roads and major landmarks).
- Scale of plot plan, north arrow, existing property lines and dimensions.
- Names and full widths of all adjacent streets and alleys (indicate location of any medians and curb cuts).
- Show location of existing and proposed structures and walls (identify existing as a dashed line and proposed as a solid line).
- Label the use of all existing and proposed structures and areas
- Indicate setbacks, yard areas, distances between structures (setbacks to be measured from ultimate property lines if dedication is required).
- Show square footage of the structure(s) and percentage of structure coverage in relationship to the entire lot.
- Show location and dimensions of adjacent street rights-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking. Designate open parking, carports, and garages, include dimensions of parking stalls, maneuvering areas, driveways, specify paving materials; identify all curbing and wheel stops.
- Show loading areas, including dimensions and screening
- Show location of trash enclosures and indicate materials.
- Show location and size of all existing proposed signs, walls, and fences.
- Indicate existing and proposed landscape areas. Preliminary landscaping should include trees and major planting areas (specific materials, sizes, and numbers will be required on detail plans following Planning Commission or City Council approval).
- Show proposed exterior lighting

### Site Plan Checklist Continued

- Show location and general dimensions of any existing irrigation facilities, natural drainage ways and storm drainage facilities on the site, including any proposed modifications.
- Show size and species of all trees 6 inches and greater in diameter at 3 feet. Indicate whether to be removed or retained.
- Show location of curb cuts on neighboring properties; and, in commercial and industrial zones, within 300 feet of adjacent properties and properties across the street.
- Location of buildings on adjacent properties (sides and rear) within 25 feet of the project site.
- Include development-phasing schedule (if proposed and/or applicable), including those portions of the project included in each phase, and estimated start and completion dates.
- Include a table of impervious areas showing pre and post development values.



# City of Atwater

## HAZARDOUS WASTE AND SUBSTANCE STATEMENT

Phone: (209) 357-6342/357-6349

Fax: (209) 357-6348

This is to determine if the proposed project or any alternatives to the proposed project in this application are on the lists compiled to Section 65962.5 of the Government Code. The applicant is required to submit a signed statement, which contains the following information:

NAME OF OWNER: Ethan Conrad Properties

ADDRESS: 1300 National Drive, Suite 100, Sacramento, CA 95834

NAME OF APPLICANT: Michael Fillebrown

ADDRESS: 2828 Enterprise Ave., Clovis, CA 93619

ADDRESS OF SITE: 1085 BELLEVUE RD ATWATER, CA 95301

APN: PORTION OF 150-190-036

LOCAL AGENCY: COUNTY OF MERCED

NOT ON LIST

SPECIFY LIST

REGULATORY IDENTIFICATION NO: \_\_\_\_\_

Pursuant to section 65962.5 of the Government Code

DATE OF LIST: \_\_\_\_\_

APPLICANT SIGNATURE: \_\_\_\_\_

*Michael Fillebrown*

Date 11/27/2023

### City of Atwater Processing Agreement

This is an agreement for payment of costs for the city of Atwater application processing

#### To be completed by applicant:

This agreement is by and between the City of Atwater, California, hereafter "City," and Michael Fillebrown hereinafter "applicant". This is a legally binding agreement. You should ensure to read all provisions of this agreement.

1. Applicant agrees to pay all personnel and related direct, indirect, overhead and overtime costs incurred by City employees and consultants (including engineers, attorneys and other professionals) incurred by City for review and processing the subject application, even if the application is withdrawn in writing, not approved, approved subject to conditions or modified upon approval. Applicant agrees that it shall pay any and all costs related to the subject application that the City would not have incurred but for the application. City's indirect and overhead costs will be applied to the time of City employees and consultants. All personnel and related direct, indirect, overhead and overtime rates for City employees and consultants shall be calculated annually by the City manager.
2. Applicant agrees to make an initial deposit in the amount of \$ 1,937<sup>00</sup> at the time this agreement is signed, and subsequent deposits within 30 days of the date requested by the City in writing, The city will not pay interest on deposits. Applicant agrees that it knowingly and voluntarily waives, extends and continues each of the time limits imposed by California Government Code Section 65943 for the determination of a development application's completeness and the time limits imposed by California Government Code Sections 65950, 65950.1, 65951, and 65952 for the approval or disapproval of development permits for as many days as the applicant delays making a subsequent deposit from the date of written notice requesting such additional deposit until the deposit is received by City, not to exceed 90 days. Failure to make any subsequent deposits may result in denial of an application for development project or in the decision by the City to postpone action on the application.
3. If Applicant does not deposit such requested deposits or make payments on outstanding invoices within thirty (30) days after the date of the deposit request or invoice, City staff may cease work on the project until the required deposit or payment is made, subject to any other provisions of law.
4. Deposits shall be applied toward the City's costs in reviewing and processing the application. City will send monthly statements indicating the charges against the initial deposit and any subsequent deposits. The City may elect to send statements less frequently than monthly, if there is only limited monthly activity on the project.

5. In the event that the accumulated periodic charges exceed the initial deposit and any subsequent deposits previously received by City, City will invoice Applicant for the amount outstanding and may require an additional deposit. Applicant will pay any and all amounts exceeding the initial and subsequent deposits within thirty (30) days of the date of the invoice and shall make any additional deposit required by the City.
6. City statements and invoices shall provide summary information indicating the cost for employees and independent contractors, including direct and indirect charges. Original invoices from independent contractors (except attorney/client invoices) shall be available upon request by Applicant, at Applicants additional cost.
7. Applicant shall pay interest on all costs unpaid 30 days after the date of any invoice at the maximum legal rate, and the City is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts.
8. Applicant and owner of property, if not the same, agree to and authorize City to place lien on the property subject to this application for any and all delinquent fees, Th City shall remove such a lien once the Applicant has paid all delinquent fees. For purposes of this section, an invoice amount shall become delinquent when unpaid for 30 days after the date of the invoice.
9. Any refund of amounts deposited shall be made in the name of the Applicant, to the address noted above in Section 2. Invoices are due and payable within 30 days.
10. Applicant further agrees that no building permits, Certificate of Occupancy and/or subdivision Acceptance for the project will be issued until all costs for review and processing are paid.
11. Applicant shall provide written notice to the City if any of the above information changes.
12. This Agreement shall only be executed by an authorized representative of the Applicant. The person executing this Agreement represents that he/she has the express authority to enter into agreements on behalf of the Applicant.
13. This Agreement is not assignable without written consent by the City of Atwater. The City of Atwater will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.

Applicant: Michael Fillebrown Date: 11/27/2023

Print Name and Title: Michael Fillebrown

Owner:  Date: 11/21/23

Print Name and Title: Ethan Conrad

City of Atwater 

By: \_\_\_\_\_ Date: 12-19-2023

Print Name and Title: \_\_\_\_\_



**COMMUNITY DEVELOPMENT  
EXISTING SITE CONDITIONS**

750 Bellevue road

**Phone: (209) 357-6342/357-6349**

**Fax: (209) 357-6348**

Application: \_\_\_\_\_

APN: PORTION OF 150-190-036

As Property Owner, I hereby acknowledge grading, land clearing, construction or any action that would alter the existing condition of the project site until approval of the final application is granted by the City of Atwater. I understand that alteration of the project site prior to approval will impact the City of Atwater's ability to review the project and could result in higher prices and require additional mitigation measures/conditions of approval to be applied or result in the denial of the application.

My agent/applicant has been instructed the importance of maintaining the current condition of the project site. The exception to the above-mentioned statement is an approval by the Planning department upon a written request.

Signed

11/21/23

Date



**CITY OF ATWATER COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT  
ENVIRONMENTAL INFORMATION FORM**

(This form to be completed by Applicant and returned with all Land Use Applications. Please note that additional environmental information may be requested as necessary. Use additional sheets as necessary.)

**GENERAL PROJECT INFORMATION** (Please type or print legibly in ink)

1. **Name, Address, telephone number, and email address of land owner/applicant:**

Michael Fillebrown, (559) 930-6712, mfillebrown4@gmail.com

2828 Enterprise Ave., Clovis, CA 93619

2. **Name, Address, telephone number, and email address of applicant if other than land owner:**

3. **Address/General location and APN of the project:**

NWC CORNER OF BELLEVUE AND LINDEN PORTION OF APN 150-190-036

1085 BELLEVUE RD ATWATER, CA 95301

4. **Existing zoning:** PLANNED DEVELOPMENT (PD-14)

5. **Land use designation within the current General Plan:** PD-14

6. **Proposed change in use and project for the proposed application (Please provide an Operational Statement for the proposed project and/or business activity):**

PROPOSED 949 SF COFFEE RESTAURANT WITH DRIVE THRU.

7. **Indicate the type of Permit(s) Application(s) to which this form pertains:**

SPR, TENTATIVE PARCEL MAP

8. **List any other agencies and related permits or approvals that will be required for the project:**

9. **List all adjacent uses to the project/property location:**

**North:** EX COMMERCIAL

**South:** EXISTING RESIDENTIAL

**East:** EX COMMERCIAL

**West:** EX ELEMENTARY SCHOOL

**PROJECT DESCRIPTION** (Attached additional Sheets as Necessary)

10. Project Area: 0.54 ACRES Parcel Size: 0.54 ACRES

11. Proposed Structures: (New and Existing) NEW 949 SF BUILDING

12. Percentage of lot coverage (before and after any construction generated from the project): BEFORE 0%, AFTER 70%

13. Number of required off-street parking spaces (including Accessable):  
27 STALLS REQUIRED

14. School district(s) that serve the project area:  
ATWATER ELEMENTARY SCHOOL DISTRICT

15. Describe the landscaping improvements for the proposed project (please include all compliance with State mandated water conservation requirements):  
PROPOSED LANDSCAPING TREES, SHRUBS, GROUND COVER, AND IRRIGATION SYSTEM TO BE COMPLIANT WITH MWEL

16. If the proposed project is to be a phased development, please described incremental phasing and implementation of improvements. (Use additional sheets if necessary):  
NO PHASING PROPOSED

17. If the proposed project will represent a change to any resource of cultural significance as defined in Public Resources Code section 21074 (Tribal Cultural Resource) Please provide a copy of your consultation letter and the name and address of the consulting authority:  
NO CHANGE IN PUBLIC RESOURCES. THE PROPERTY IS AN EXISTING DEVELOPED COMMERCIAL SHOPPING CENTER, THE PROERTY IS CURRENTLY BEING USED AS DETENTION BASIN

18. List any and all hazardous or toxic materials, chemicals, pesticides, flammable liquids, or other similar products used as a part of the day to day operations of the project and all storage methods. (Please note that the use and storage of certain materials will require filing of a Hazardous Materials Business Plan and Spill Prevention Containment and Countermeasure Plan as may be determined. Applicants are encouraged to consult with the Merced County Environmental Health Division and local Fire Department as Administers of said plans.):

19. Described the estimated consumption of water, the estimated sewage generation, and the estimated amount of storm water run-off during a 10-year, 24-hour, storm event.  
 Water: 280 GALLONS PER DAY Gallons per day; Sewage: 280 GALLONS PER DAY Gallons per day; Storm water: 0.70 CFS
20. Provide a description of the proposed water delivery system(s) including any on-site treatment necessary for the proposed project. (Include water use and management in the Operational Statement for the Project.): PROPOSED WATER SERVICE TO BE CONNECTED TO EXISTING CITY WATER SYSTEM
21. Provide a description of the proposed sanitary sewer system(s) including any on-site treatment necessary for the proposed project. (Include any capture and waste water treatment needs in the Operational Statement for the Project.): PROPOSED SEWER SERVICE TO BE CONNECTED TO EXISTING CITY SEWER SYSTEM
22. Provide a "Can-and-will" serve letter for the project for any/all outside agencies or service districts that are anticipated to serve the project including any discharge agreement that may be necessary from the offices of The Merced Irrigation District. (Attach as necessary)
23. Provide any necessary percolation tests as may be necessary as determined by the City Engineer or building division.
24. Please provide the estimated amount of solid waste (garbage, spoils, or animal waste/manure) generated from the project site and methods of disposal:  
5 LBS/DAY, OR 0.90 TONS PER YEAR
25. Describe any earthwork (grading) that will be necessary for the project including all work associated with access roads or improvements located on adjacent lands or City owned/managed improvements. (please also list dust control methods and any compliance or permits necessary for the local Air Pollution Control District.): GRADING, EXCAVATION AND BACKFILL OF THE PROPERTY. THE PROJECT WILL IMPLEMENT EROSION CONTRAOL AND DUST CONTROL BMPS, AND WATER TRUCK WILL PROVIDE DUST CONTROL. PROJECT WILL APPLY FOR DUST CONTROL PERMIT/NOTIFICATION WITH SJVAPCD
26. Provide the estimated amount of traffic and nominate the roads impacted, which would be a result from the project. Roads impacted:  
506 DAILY TRIPS, 82 AM PEAK HOUR TRIPS, AND 37 PM PEAK HOUR TRIPS  
 Average Daily Trips: 506 DAILY TRIPS

**PROJECT DESCRIPTION CONT.**

Please indicate below the response that most applies to the described project. Should the answer indicated differ from the information provided in the General Project Information shown above or from information already obtained from the offices of the City of Atwater, the applicant(s) will be required to provide evidence or documentation to support the answers shown. (Please attach additional sheets as may be necessary)

	Yes	Maybe	No
27. Change to existing features of any vegetation, lakes, streams, rivers, hills, or substantial alteration of ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
28. Any change in quantity, direction of flow of groundwater.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
29. Change in quality or alteration of drainage patterns to any lake, stream, Natural or man-made water body.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
30. Change in absorption rates, drainage patterns, or the rate or amount of surface runoff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
31. Discharge into any surface water, or any alteration of surface water quality, i.e., temperature, dissolved oxygen, turbidity, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
32. Change in amount of surface water in any water body.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
33. Change in scenic views of vistas from existing residential areas, public lands or roads.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
34. Change in pattern, scale or character of the general area of the project.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
35. Will the project affect existing housing or create a demand for additional housing.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
36. Will the project result in a substantial alteration of the present or planned land use of the area.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
37. Will significant amounts of solid waste (garbage, spoils, manure) or litter be generated as a result of the project.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**PROJECT DESCRIPTION CONT.**

	Yes	Maybe	No
38. Will substantial air emissions or deterioration of ambient air quality be a result of the project.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
39. Will there be a change in dust, ash, smoke, fumes, or odors in the vicinity.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
40. Creation of objectionable odors.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
41. Change in existing noise or vibration levels in the vicinity, or exposure of people to major noise sources.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
42. Will the project produce new light or glare.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
43. Site on filled land or on a slope of 10 percent or more.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
44. Substantial disruptions, displacements, compaction or over covering of soil.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
45. Any uses of disposable or potential hazardous materials, toxic substances, flammables or explosives.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
46. Substantial change in demand for municipal services such as police, fire, water, waste water treatment, City maintenance, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
47. Substantial increase in demand on fossil fuel consumption.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
48. Relationship to larger project(s) or planning areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
49. Impacts to plant or animal species or any species as may be State or Federally listed as a sensitive or endangered species.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
50. Impacts to areas designated for use by agriculture.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**PROJECT DESCRIPTION CONT.**

**GENERAL ENVIRONMENTAL SETTING:** Please provide a brief description of any special environmental conditions present on the project site and include photographs depicting the site and the surrounding area: \_\_\_\_\_

THE PROPERTY IS AN EXISTING DEVELOPED COMMERCIAL SHOPPING CENTER, THE PROPERTY IS

CURRENTLY BEING USED AS DETENTION BASIN. THE SUBJECT PROPERTY IS HIGHLY DISTURBED.

THERE ARE NO SPECIAL ENVIRONMENTAL CONDITIONS, WETLANDS, PROTECTED SPECIES,

CULTURAL, OR HISTORICAL RESOURCES.

**CERTIFICATION**

I hereby certify that I/We are the legal owners of the property and project shown and described herein and that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

*Michael Fillebrown*

Dated: 12/13/2023

(Original signature required)

**LIST OF ATTACHMENTS**

1. ( \_\_\_\_\_
2. ( \_\_\_\_\_
3. ( \_\_\_\_\_
4. ( \_\_\_\_\_
5. ( \_\_\_\_\_
6. ( \_\_\_\_\_
7. ( \_\_\_\_\_
8. ( \_\_\_\_\_
9. ( \_\_\_\_\_
10. ( \_\_\_\_\_

## Operational Statement

To Whom It May Concern:

Dutch Bros Coffee, is being submitted by Ken Vang, Vang Inc Consulting Engineers, on behalf of Mike Fillebrown. The project proposes to construct a 949 sf coffee restaurant with drive thru, on approximately 0.54 acres, located at 1085 Bellevue Rd Atwater, CA 95301, further identified as APN 150-190-036.

The property is an infill project, and is currently fully developed commercial retail shopping center. The property that the proposed project is located is currently a ponding basin. The current zoning and General Plan Land Use is Planned Development (PD-14). The PD-14 district is intended for planned commercial development that primarily serves local needs such as convenience shopping and restaurants. The proposed landuses conforms to the PD-14 zone district by constructing restaurant uses. The proposed project implements the proposed uses as intended by the General Plan.

The proposed project consists of:

- 949 sf coffee restaurant with drive thru, and outdoor seating.
- 11 parking stalls with 1 EV charging stall.

The site will have the required vehicular parking stalls, including ADA stalls, drive thru lane, landscaping and irrigation.

The hours of operation are as follows:

Coffee Restaurant: 5:00 AM to 11:00 PM

It is anticipated that the project will have approximately 500 visitors per day. The site will have 5 to 8 employees per day, and approximately 5 service deliveries per week.

Sewer, water and solid waste services will be provided by the City of Atwater. Storm drainage service is provided by City of Atwater and joint use agreement with Merced Irrigation District. Electric will be provided by either PG&E or Merced Irrigation District. Natural gas services will be PG&E. Telephone and fiber/internet services will be provided by either AT&T, or Comcast.

Security and lighting for the site is provided through a combination of wall-packs and pole-mounted lighting. The building will be equipped with comprehensive internal and external video surveillance/security cameras.

The adjacent northerly parcel is vacant, and existing commercial. The parcels on the south side of Bellevue Road Avenue are existing single family residential. To the east are existing commercial. To the west is an elementary school.

The projects construction activities may generate temporary noise and dust, which will be mitigated by implementing dust control measures onsite and Construction activities will occur within daytime hours as allowed by the municipal code. There are no foreseeable effects or impacts to the neighbors from the operation of the project site.

The project will file a Parcel Map to subdivide APN 150-190-036 and create two parcels.

# FINAL PARCEL MAP NO. 23-XX

## PARCEL 2, IN THE CITY OF ATWATER, AS SHOWN ON A PARCEL MAP FILED IN BOOK 33 OF PARCEL MAPS, PAGE 45, MERCED COUNTY RECORDS, BEING A PORTION OF LOT 4, GERTRUDE COLONY, AS PER PLAT RECORDED IN BOOK 2 OF MAPS AND PLATS, PAGE 57, MERCED COUNTY RECORDS.

### OWNER'S STATEMENT

THE UNDERSIGNED, BEING ALL PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND WITHIN THIS SUBDIVISION, HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS MAP AND OFFER FOR DEDICATION FOR PUBLIC USE THE PARCELS AND EASEMENTS SPECIFIED ON SAID MAP AS INTENDED FOR PUBLIC USE FOR THE PURPOSES SPECIFIED THEREIN.

ETHAN CONRAD, AN UNMARRIED MAN

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 ETHAN CONRAD

SUNCREST BANK

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 NAME, [ TITLE ]

CITIZENS BUSINESS BANK

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 NAME, [ TITLE ]

### NOTARY ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_

ON \_\_\_\_\_ BEFORE ME, \_\_\_\_\_, A NOTARY PUBLIC,

PERSONALLY APPEARED \_\_\_\_\_, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT HE/SHE/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE \_\_\_\_\_ NAME \_\_\_\_\_

COUNTY OF \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

COMMISSION NUMBER \_\_\_\_\_

### NOTARY ACKNOWLEDGEMENT

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STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_

ON \_\_\_\_\_ BEFORE ME, \_\_\_\_\_, A NOTARY PUBLIC,

PERSONALLY APPEARED \_\_\_\_\_, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT HE/SHE/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

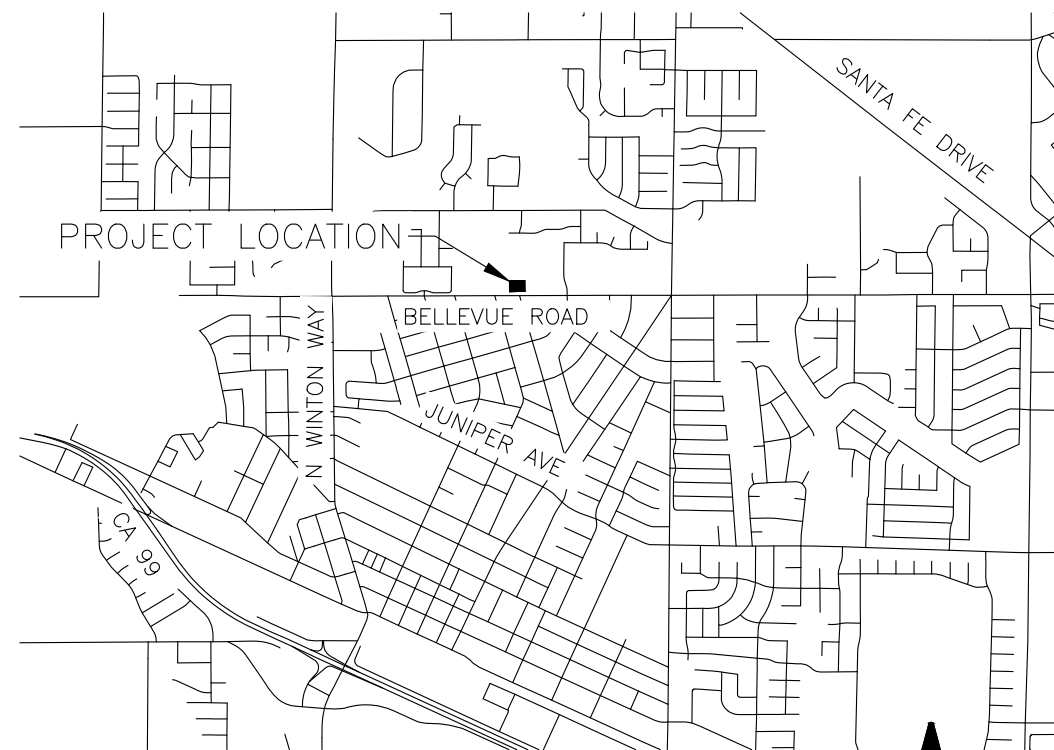
I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE \_\_\_\_\_ NAME \_\_\_\_\_

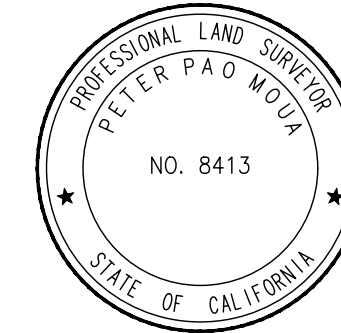
COUNTY OF \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

COMMISSION NUMBER \_\_\_\_\_



VICINITY MAP

NOT TO SCALE



### SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF MIKE FILLEBROWN ON AUGUST 28, 2023. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, AND THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS ON OR BEFORE ONE YEAR OF THE DATE THIS MAP IS RECORDED, OR ANY TIME EXTENSION APPROVED BY THE CITY ENGINEER. THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

\_\_\_\_\_  
 PETER PAO MOUA, L.S. 8413 DATE \_\_\_\_\_  
 EXPIRES 12/31/2024

### CITY ENGINEER'S STATEMENT

I, JOHN SEYMOUR, CITY OF ATWATER CITY ENGINEER, DO HEREBY STATE THAT I HAVE EXAMINED THIS MAP, AND THAT THE SUBDIVISION SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE APPROVED TENTATIVE MAP, AND THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH.

\_\_\_\_\_  
 JOHN SEYMOUR, P.E. 92033 DATE \_\_\_\_\_  
 CONTRACT CITY ENGINEER OF THE CITY OF ATWATER

### CITY SURVEYORS STATEMENT

I, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT IT COMPLIES WITH ALL PROVISIONS OF CHAPTER 2 OF THE SUBDIVISION MAP ACT, AND THAT I AM SATISFIED THAT THIS PARCEL MAP IS TECHNICALLY CORRECT

\_\_\_\_\_  
 RYAN VANCE, P.L.S. 8225 DATE \_\_\_\_\_  
 CONTRACT CITY SURVEYOR OF THE CITY OF ATWATER

### PLANNING COMMISSION STATEMENT

THIS MAP HAS BEEN EXAMINED THIS \_\_\_\_ DAY OF DECEMBER, 2023 AND FOUND TO BE SUBSTANTIALLY IN CONFORMANCE WITH THE TENTATIVE MAP REVIEWED AND APPROVED OR CONDITIONALLY APPROVED BY THE PLANNING COMMISSION OF THE CITY OF ATWATER WHICH HAS MADE A DETERMINATION THAT IS CONSISTENT WITH THE MERCED COUNTY GENERAL PLAN.

\_\_\_\_\_  
 GREG THOMPSON, PUBLIC WORKS/COMMUNITY DIRECTOR DATE \_\_\_\_\_

CITY OF ATWATER

### LEGAL DESCRIPTION

PARCEL 1:

PARCEL 2, IN THE CITY OF ATWATER, AS SHOWN ON A PARCEL MAP FILED IN BOOK 33 OF PARCEL MAPS, PAGE 45, MERCED COUNTY RECORDS, BEING A PORTION OF LOT 4, GERTRUDE COLONY, AS PER PLAT RECORDED IN BOOK 2 OF MAPS AND PLATS, PAGE 57, MERCED COUNTY RECORDS. EXCEPTING THEREFROM PARCEL 1 OF PARCEL MAP FILED IN BOOK 87, PAGE 23 OF PARCEL MAPS, MERCED COUNTY RECORDS.

PARCEL 2:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR VEHICLES AND PEDESTRIANS IN, OVER AND ACROSS THE PARCEL DESCRIBED ABOVE, AS SAID EASEMENTS ARE DISCLOSED IN THAT CERTAIN DRIVEWAY AND ACCESS AGREEMENT, RECORDED FEBRUARY 27, 1986 IN VOL. 2526 OF OFFICIAL RECORDS, PAGE 723, MERCED COUNTY RECORDS.

### RECORDER'S STATEMENT

DOCUMENT NO. \_\_\_\_\_ FEE: \$ \_\_\_\_\_

FILED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, AT \_\_\_\_\_M IN BOOK \_\_\_\_\_

OF PARCEL MAPS, AT PAGES \_\_\_\_\_, AT THE REQUEST OF VANG INC. CONSULTING ENGINEERS.

MERCED COUNTY RECORDS  
 MATT H. MAY, C.P.A., RECORDER

BY: \_\_\_\_\_  
 DEPUTY COUNTY RECORDER

### NOTARY ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_

ON \_\_\_\_\_ BEFORE ME, \_\_\_\_\_, A NOTARY PUBLIC,

PERSONALLY APPEARED \_\_\_\_\_, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT HE/SHE/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE \_\_\_\_\_ NAME \_\_\_\_\_

COUNTY OF \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

COMMISSION NUMBER \_\_\_\_\_

### FLOOD ZONE

THE PROPERTY IS LOCATED FLOOD ZONE X PER FEMA FIRM MAP NO 06047C0405G EFFECTIVE DECEMBER 2, 2008.



4010 N CHESTNUT  
 DIAGONAL AVE STE 101  
 FRESNO, CA 93726

(559) 775-0023  
 FAX: (559) 775-0016

WWW.VICE-ENGR.COM

SHEET NO.

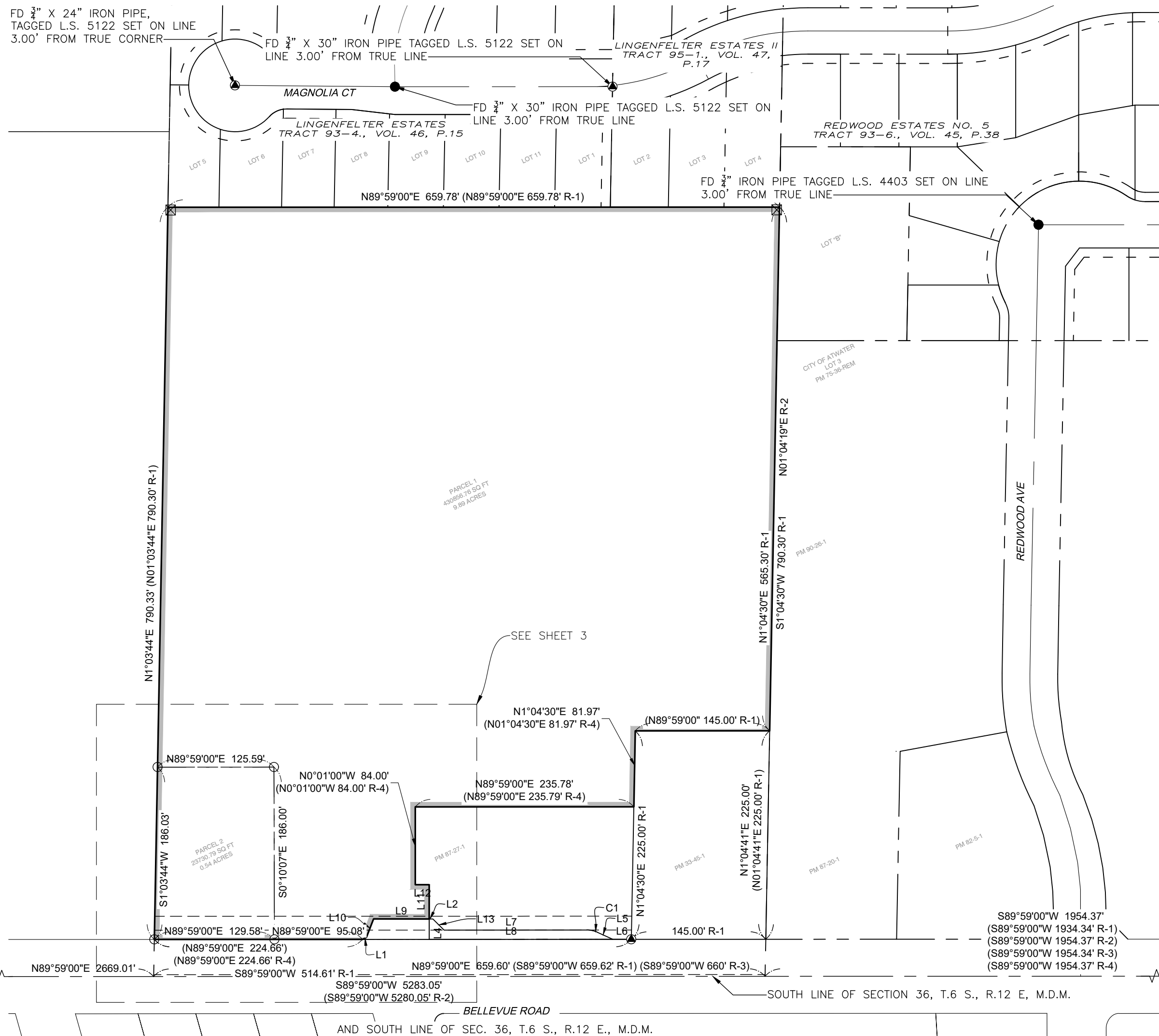
1 / 3



# FINAL PARCEL MAP NO. 23-XX

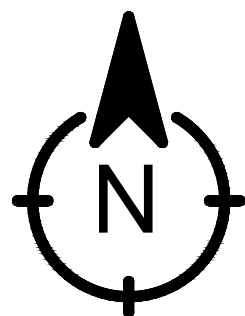
## LEGEND

- PROPERTY BOUNDARY
- CENTERLINE/SECTION LINE
- EASEMENT
- PROPOSED LOT
- PROPOSED PROPERTY LINE
- AN EASEMENT, NO WIDTH GIVEN, FOR A LINE OF POLES FOR ELECTRIC ENERGY TO PACIFIC GAS AND ELECTRIC COMPANY PER VOL. 1079, PAGE 303, O.R.
- A 25 FT WIDE EASEMENT FOR PUBLIC UTILITIES TO THE CITY OF ATWATER PER VOL. 2549, PAGE 804, O.R.
- A 25 FT WIDE EASEMENT FOR SEWAGE TO THE CITY OF ATWATER PER VOL. 2549, PAGE 817, O.R.
- AN EASEMENT FOR PUBLIC RIGHT OF WAY TO THE CITY OF ATWATER PER VOL. 2563, PAGE 885, O.R.
- A 10FT WIDE PUBLIC UTILITY EASEMENT (P.U.E.) PER BOOK 33, PAGE 45 OF PARCEL MAPS, M.C.R.
- REFERS TO BOOK 33, PAGE 45, OF PARCEL MAPS, M.C.R.
- REFERS TO BOOK 75, PAGES 35-37, OF PARCEL MAPS, M.C.R.
- REFERS TO BOOK 31, PAGES 32, OF PARCEL MAPS, M.C.R.
- REFERS TO BOOK 87, PAGES 24, OF PARCEL MAPS, M.C.R.
- FOUND AND ACCEPTED SECTION CORNER OR QUARTER CORNER, DESCRIBED HEREON.
- PREVIOUSLY DEDICATED STREET RIGHT OF WAY.
- SET 3/4" IRON PIPE, DOWN 6", TAGGED LS 8413
- FOUND MONUMENT 3/4" X 30" IRON PIPE WITH LS 5122 TAG SET, IN MONUMENT WELL
- FOUND MONUMENT 3/4" IRON PIPE WITH LS 4403 TAG SET, IN MONUMENT WELL
- WITNESS 1-1/2" IP SECTION CORNER IN MONUMENT WELL
- FOUND SECTION CORNER IN MONUMENT WELL AS DESCRIBED



LINE TABLE		
LINE	LENGTH	BEARING
L1	4.52'	N63°11'53"E
L2	4.00'	S89°59'00"W
L4	59.00'	N0°01'00"W
L5	18.01'	N65°34'03"W
L6	20.00'	N89°59'00"E
L7	154.00'	S89°59'00"W
L8	198.06'	N89°59'00"E
L9	60.09'	N89°59'00"E
L10	21.42'	N21°14'18"E

CURVE DATA			
SEGMENT	DELTA	RADIUS	LENGTH
C1	24°26'57"	28.00'	11.95'



100 50 0 100 200  
SCALE IN FEET  
1" = 100'

### BASIS OF BEARINGS:

THE CENTERLINE OF BELLEVUE ROAD (SOUTH LINE OF SECTION 36, T.6 S., R.12 E., M.D.M.), BEING S 89°59'00" W, RECORDED IN BOOK 33, PAGE 45 OF PARCEL MAPS, M.C.R.



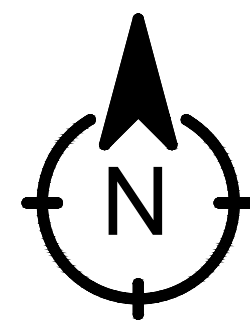
4010 N CHESTNUT  
DIAGONAL AVE STE 101  
FRESNO, CA 93726  
(559) 775-0023  
FAX: (559) 775-0016  
WWW.VICE-ENGR.COM

SHEET NO.

2 / 3

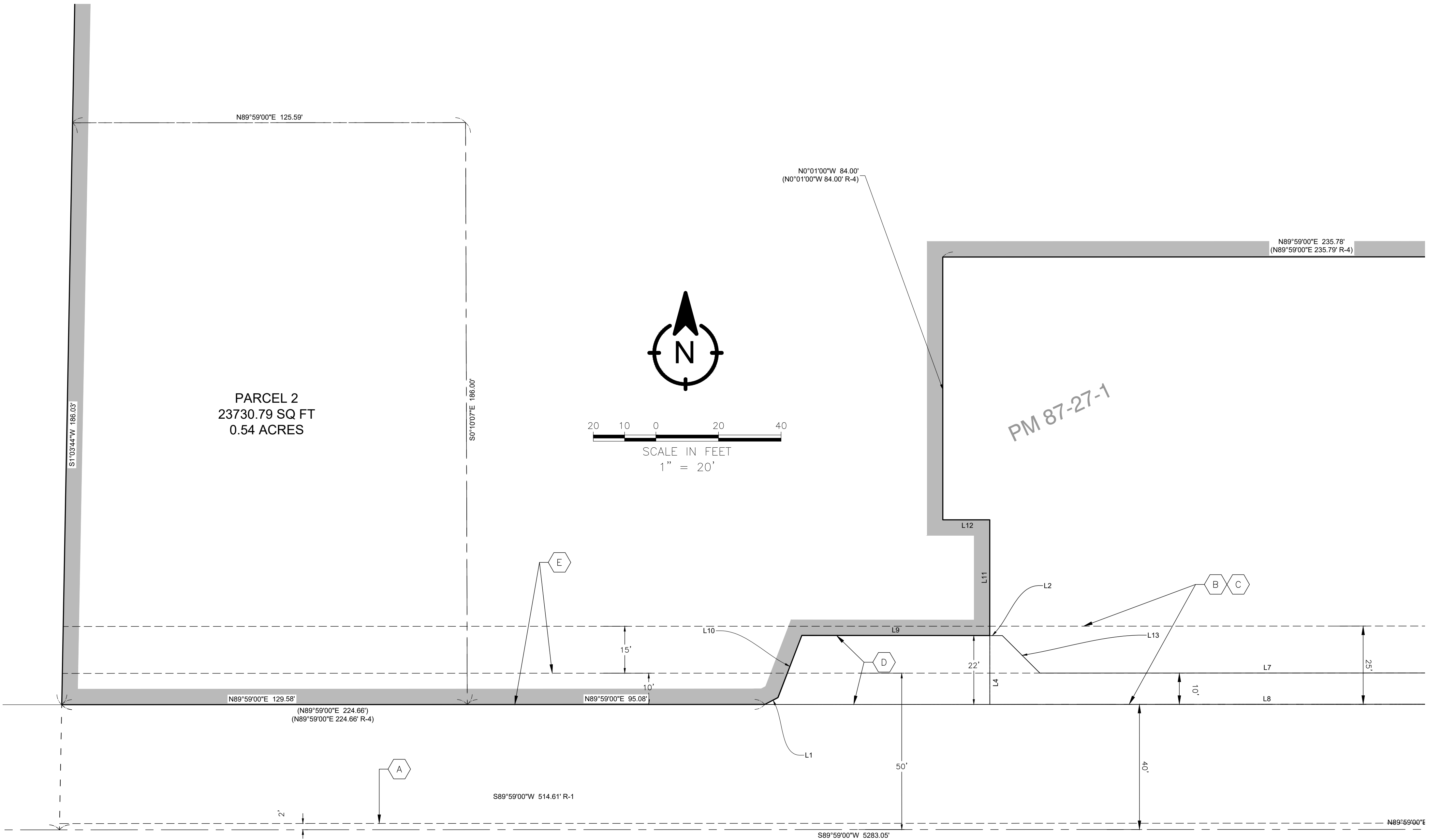
# FINAL PARCEL MAP NO. 23-XX

PARCEL 2  
23730.79 SQ FT  
0.54 ACRES



SCALE IN FEET  
1" = 20'

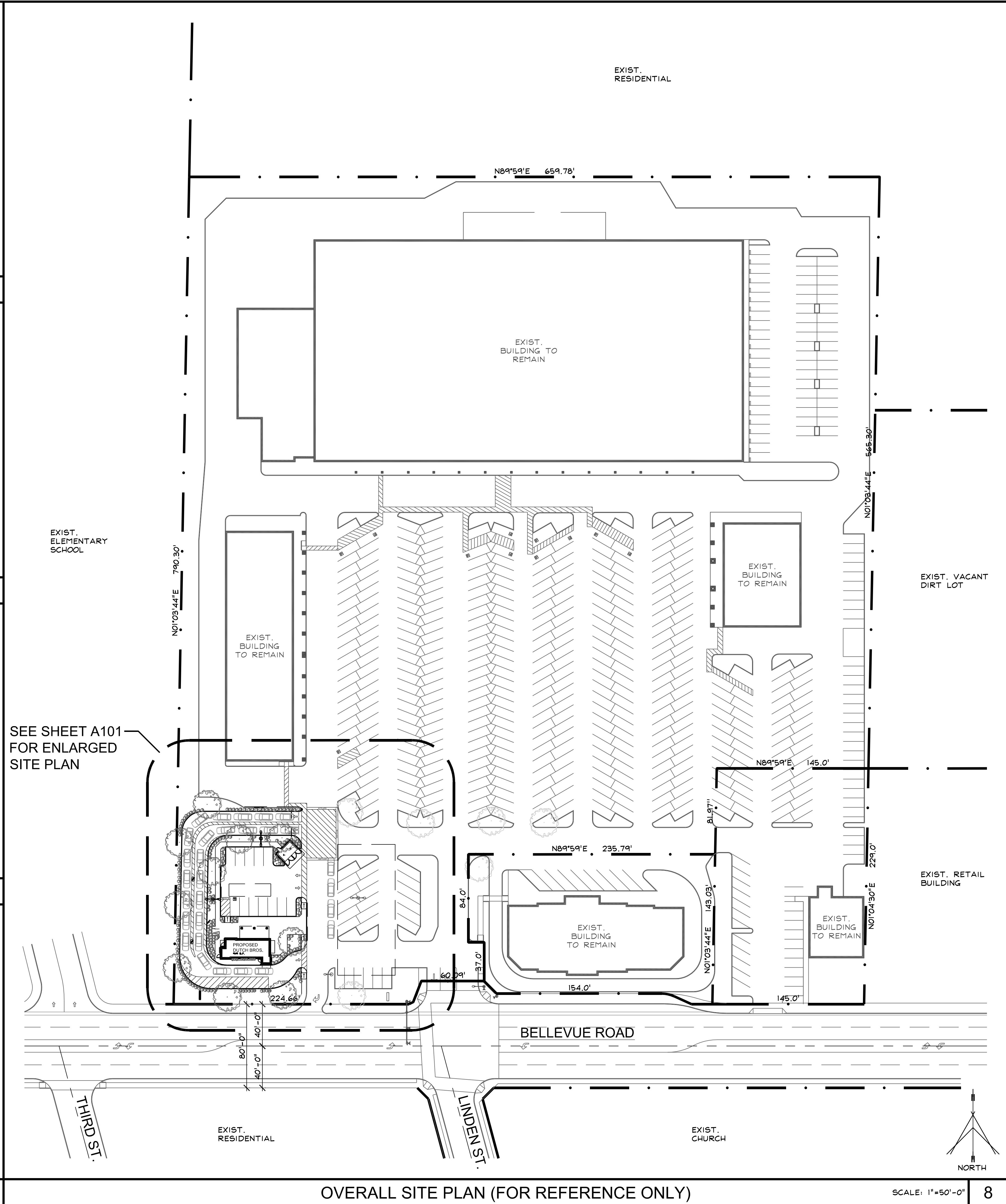
PM 87-27-1



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SHEET NO.  
3 / 3

17
18
19
20



OVERALL SITE PLAN (FOR REFERENCE ONLY)

SCALE: 1"=50'-0" 8

2
<p>ADDRESS: 1085 BELLEVUE ROAD ATWATER, CALIFORNIA 95301</p> <p>SITE INFORMATION: APN: PORTION OF 150-190-036 OVERALL SITE AREA: 10.44 ACRES (454,766 S.F.) AREA OF WORK: 0.54 ACRES (23,595 S.F.) BUILDING AREA: 4.02% (949 S.F.) PERVIOUS AREA: 24.89% (5,072 S.F.) IMPERVIOUS AREA: 71.09% (16,714 S.F.) ZONING: P-D (PLANNED DEVELOPMENT) GENERAL PLAN: COMMERCIAL EXIST. LAND USE: PONDING BASIN</p> <p>BUILDING AREA: 949 S.F. PROPOSED AREA:</p> <p>PARKING: PROPOSED: 11 STANDARD STALLS 1 ACCESSIBLE STALL</p> <p>REQUIRED: (1 STALL PER 35 S.F.)</p>

3
<p>SITE INFORMATION</p> <p>ISSUE DATE: 8-18-23 REV. DATE: PROJECT NO.: 23015 DRAWN BY: NL SHEET: <b>A100</b></p>

VICINITY MAP SCALE: N.T.S. 4

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**Vermelfoort Architects, Inc.**  
Architecture and Planning  
8525 North Cedar Avenue  
Suite 106  
Fresno, California 93720  
Office: 559.432.6744  
Email: rcv@vaifresno.com

**VAI**

ATWATER  
1085 BELLEVUE RD.  
ATWATER, CA 95301

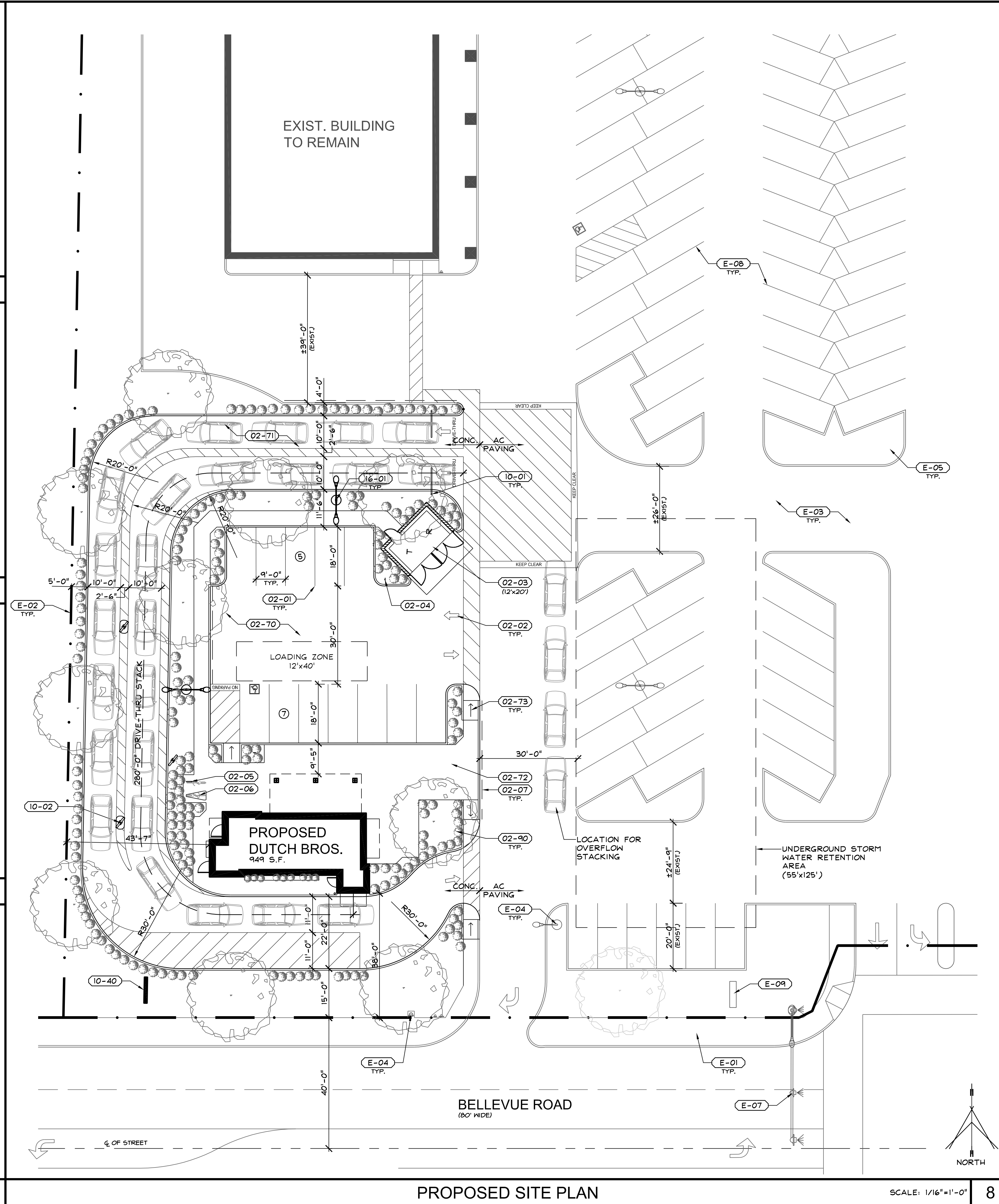
**DUTCH BROS** Coffee

PROPOSED SITE PLAN

DATE	REVISION

(STAMP INVALID UNLESS SIGNED)

17
18
19
20



PROPOSED SITE PLAN

SCALE: 1/16"=1'-0" 8

- E-01 EXIST. CONC. SIDEWALK, CURB, & GUTTER TO REMAIN.
  - E-02 EXIST. PROPERTY LINE TO REMAIN.
  - E-03 EXIST. AC PAVING TO REMAIN, PATCH AS NECESSARY.
  - E-04 EXIST. FIRE HYDRANT TO REMAIN.
  - E-05 EXIST. LANDSCAPING TO REMAIN.
  - E-06 EXIST. LIGHT POLE TO REMAIN.
  - E-07 EXIST. STREET LIGHT SIGNAL TO REMAIN.
  - E-08 EXIST. PARKING LOT STRIPING TO REMAIN.
  - E-09 EXIST. MONUMENT SIGN TO REMAIN.
- 
- 02-01 (N) PARKING LOT STRIPING, PER CITY STANDARDS.
  - 02-02 (N) DIRECTIONAL ARROW STRIPING, PER CITY STANDARDS.
  - 02-03 (N) TRASH ENCLOSURE, PER CITY STANDARDS, SEE 4/A104.
  - 02-04 (N) "UNAUTHORIZED VEHICLE" SIGN.
  - 02-05 1-LOOP BIKE RACK, "ULINE #H-2892", SEE 18/A101.
  - 02-06 (N) BIKE LOCKER - AMERICAN BICYCLE SECURITY COMPANY "BIKE-SHELL MODEL 301P".
  - 02-07 PAINT CURB RED W/ WHITE "NO PARKING FIRE LANE" LETTERS @ MAX. 25' APART (SHOWN DASHED).
  - 02-70 (N) AC PAVING, TO MATCH ADJACENT.
  - 02-71 (N) CONC. PAVING, STANDARD.
  - 02-72 (N) CONC. SIDEWALK.
  - 02-73 (N) CONC. RAMP w/ TRUNCATED DOMES.
  - 02-90 (N) LANDSCAPING, TO MATCH ADJACENT, SEE LANDSCAPE DRAWINGS.
  - 10-01 HEIGHT RESTRICTION BAR.
  - 10-02 MENU BOARD & ORDER SPEAKER.
  - 10-40 MONUMENT SIGN (UNDER SEPARATE REVIEW & PERMIT).
  - 16-01 LIGHT POLE, SEE ELECTRICAL DRAWINGS.

**KEYNOTES** 2

ADDRESS:  
1085 BELLEVUE ROAD  
ATWATER, CALIFORNIA 95301

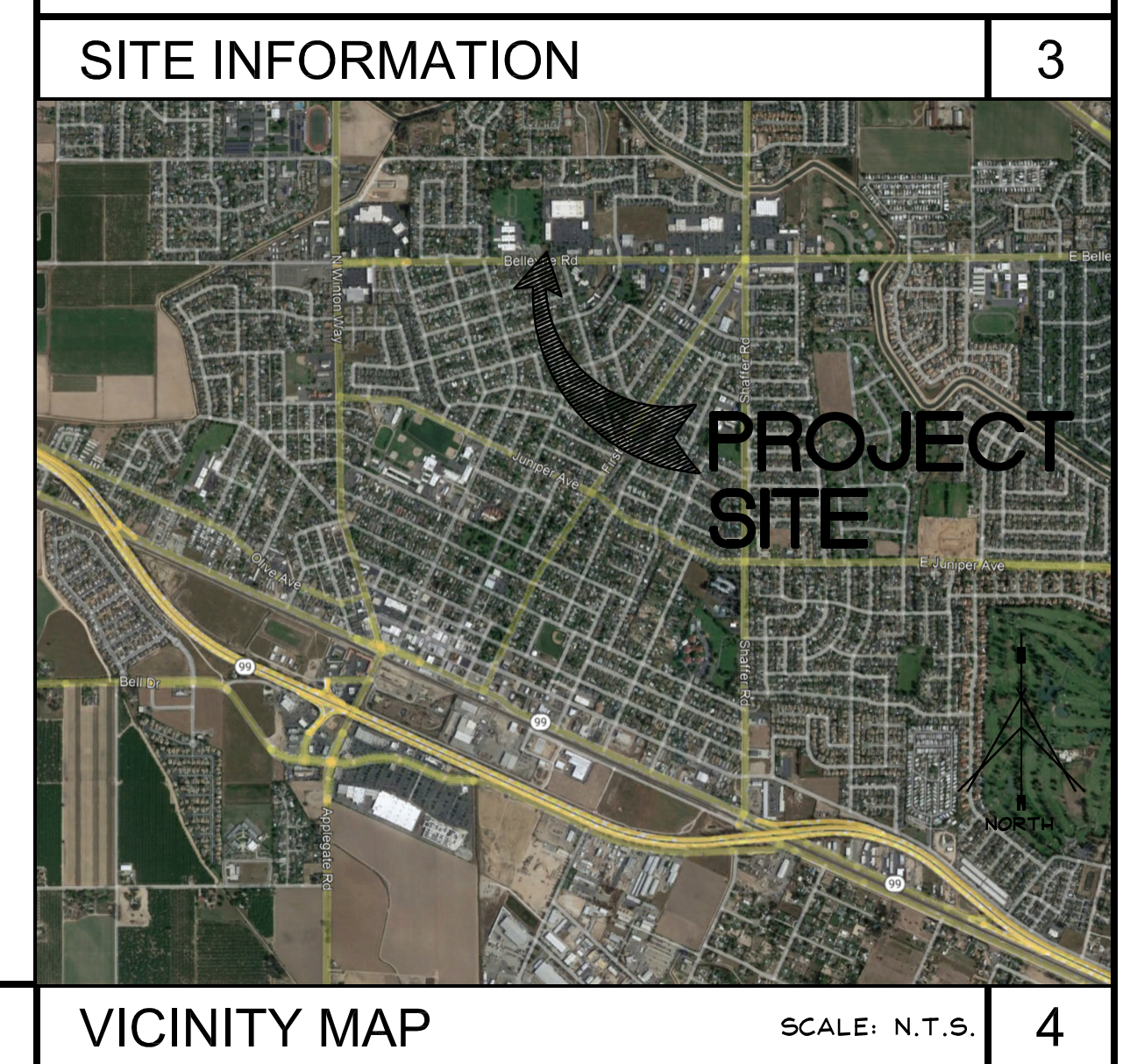
**SITE INFORMATION:**

APN:	PORTION OF 150-190-036
OVERALL SITE AREA:	10.44 ACRES (454,766 S.F.)
AREA OF WORK:	0.54 ACRES (23,595 S.F.)
BUILDING AREA:	4.02% (949 S.F.)
PERVIOUS AREA:	24.89% (5,072 S.F.)
IMPERVIOUS AREA:	71.09% (16,714 S.F.)
ZONING:	P-D (PLANNED DEVELOPMENT)
GENERAL PLAN:	COMMERCIAL
EXIST. LAND USE:	PONDING BASIN

**BUILDING AREA:** 949 S.F.

**PARKING:**  
PROPOSED: 11 STANDARD STALLS  
1 ACCESSIBLE STALL

**REQUIRED:**  
(1 STALL PER 35 S.F.)



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Architecture and Planning  
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Suite 106  
Fresno, California 93720  
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Email: rcv@vaifresno.com

**V A I**

**DUTCH BROS**

ENLARGED SITE PLAN

ISSUE DATE: 8-18-23  
REV. DATE:  
PROJECT NO.: 23015  
DRAWN BY: NL  
SHEET:  
**A101**

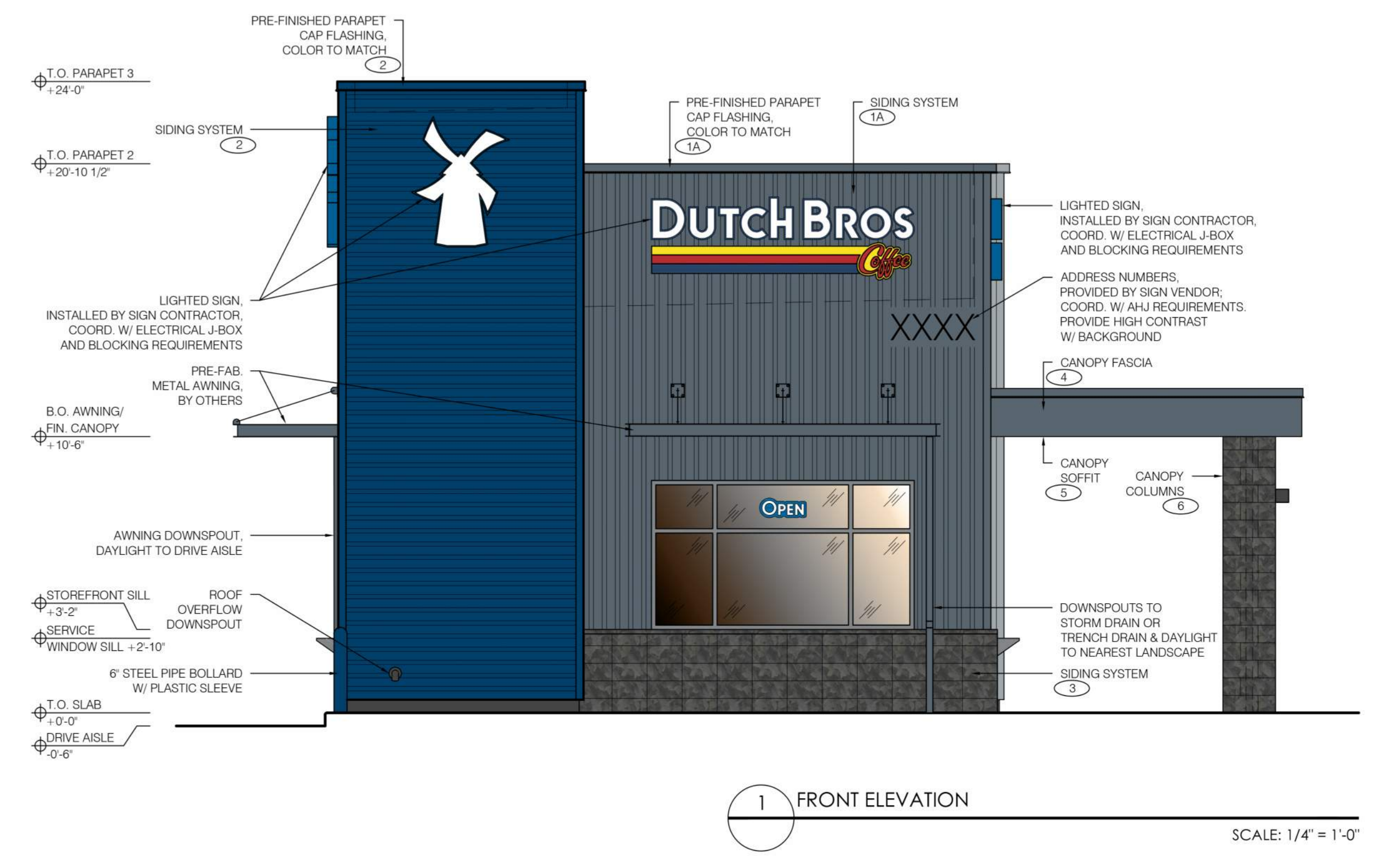
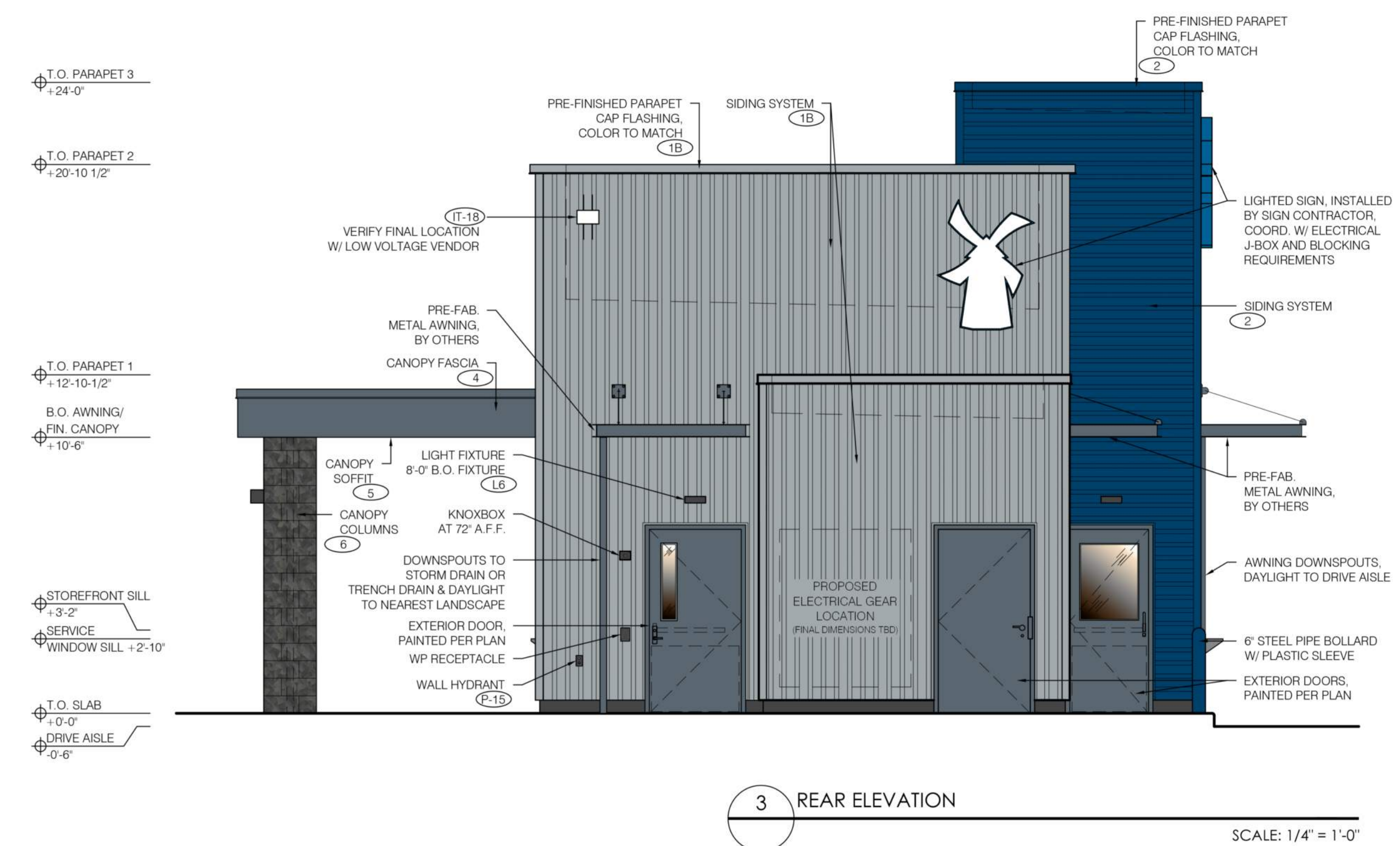
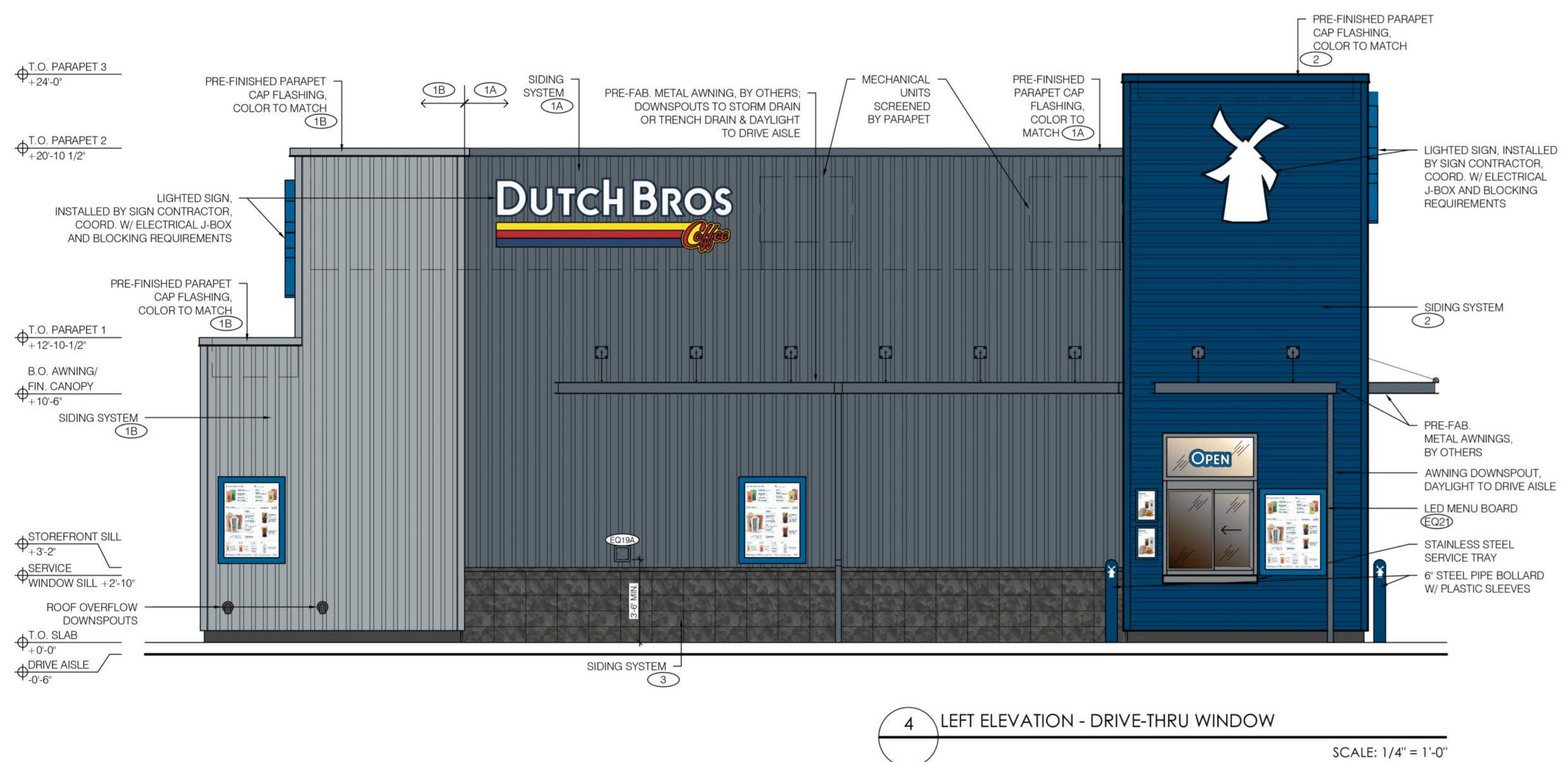
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EXTERIOR FINISH SCHEDULE - PROTOTYPICAL w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	METAL PANEL	WESTERN STATES METAL ROOFING	WESTERN WAVE, 24 ga.	ORIENTATION: VERTICAL; COLOR: BLDG DB DARK GRAY
1B	METAL PANEL	WESTERN STATES METAL ROOFING	WESTERN WAVE, 24 ga.	ORIENTATION: VERTICAL COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	METAL PANEL	WESTERN STATES METAL ROOFING	WESTERN WAVE, 24 ga.	ORIENTATION: HORIZONTAL; COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	CMU VENEER AND SILL	BASALITE	4-8-16, SPLIT FACE	COLOR: CHARCOAL - REVIEW FINAL COLOR SELECTION W/ DBC
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x6, T&G, 1/8" REVEAL, SEALED
6	COLUMNS	BASALITE	8-8-16, SPLIT FACE 3-SIDES	COLOR: CHARCOAL - REVIEW FINAL COLOR SELECTION W/ DB

NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY



1001 SE SANDY BLVD, SUITE 100  
 PORTLAND, OR 97214  
 V. 503.552.9079  
 F. 503.241.7055  
 WWW.GNICHARCH.COM



**Project No: STXXXX** (Project Code)  
 Dutch Bros Coffee - New Freestanding Store  
 Everytown, USA  
 for: Dutch Bros Coffee  
 110 SW 4th St.  
 Grants Pass, OR 97526

ISSUED FOR PROTOTYPE  
 RELEASE: 02.01.2023

REV.	DATE	DESCRIPTION

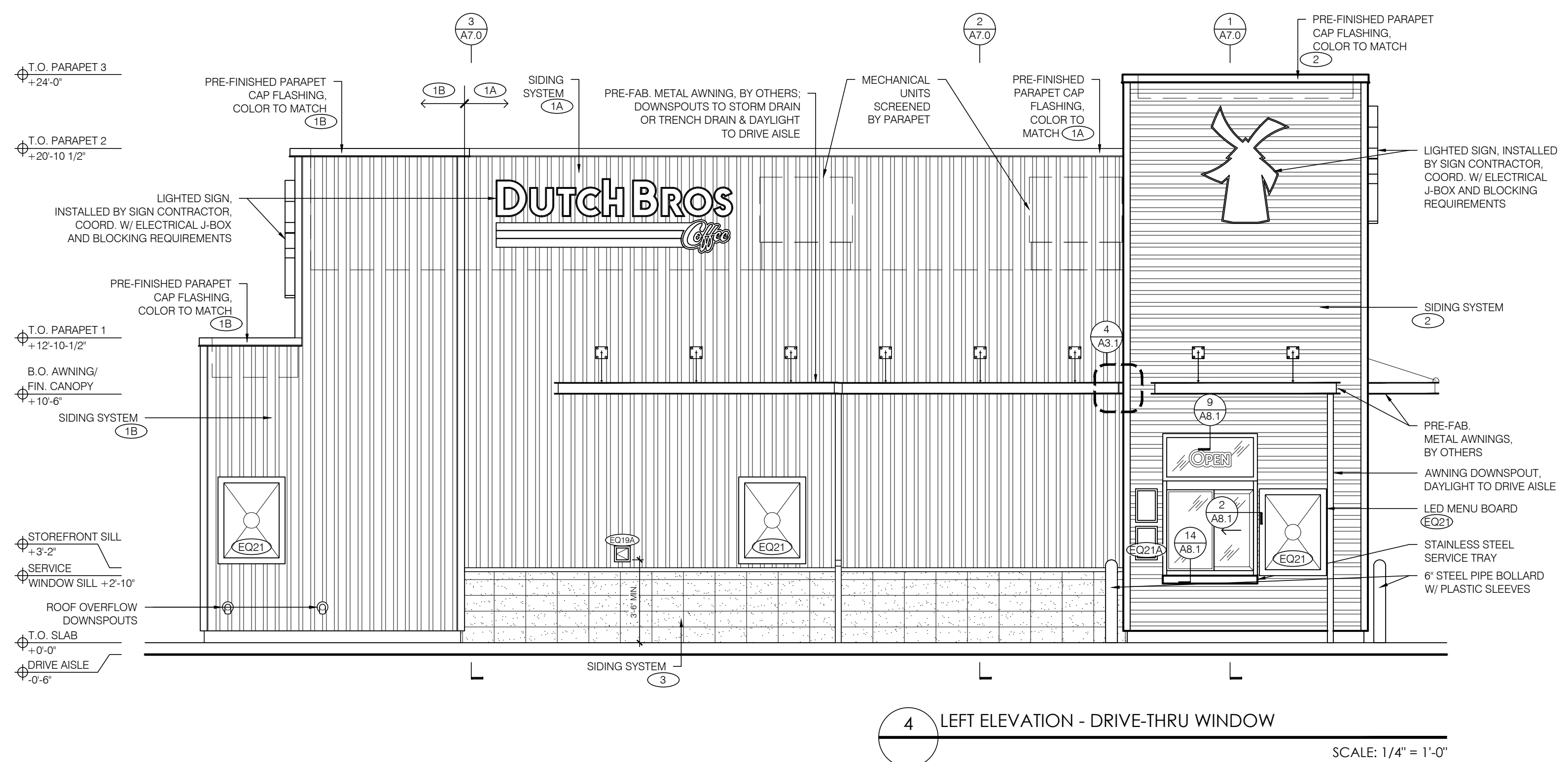
SHEET NAME:  
 BUILDING ELEVATIONS  
 SHEET NUMBER:

**A6.1**

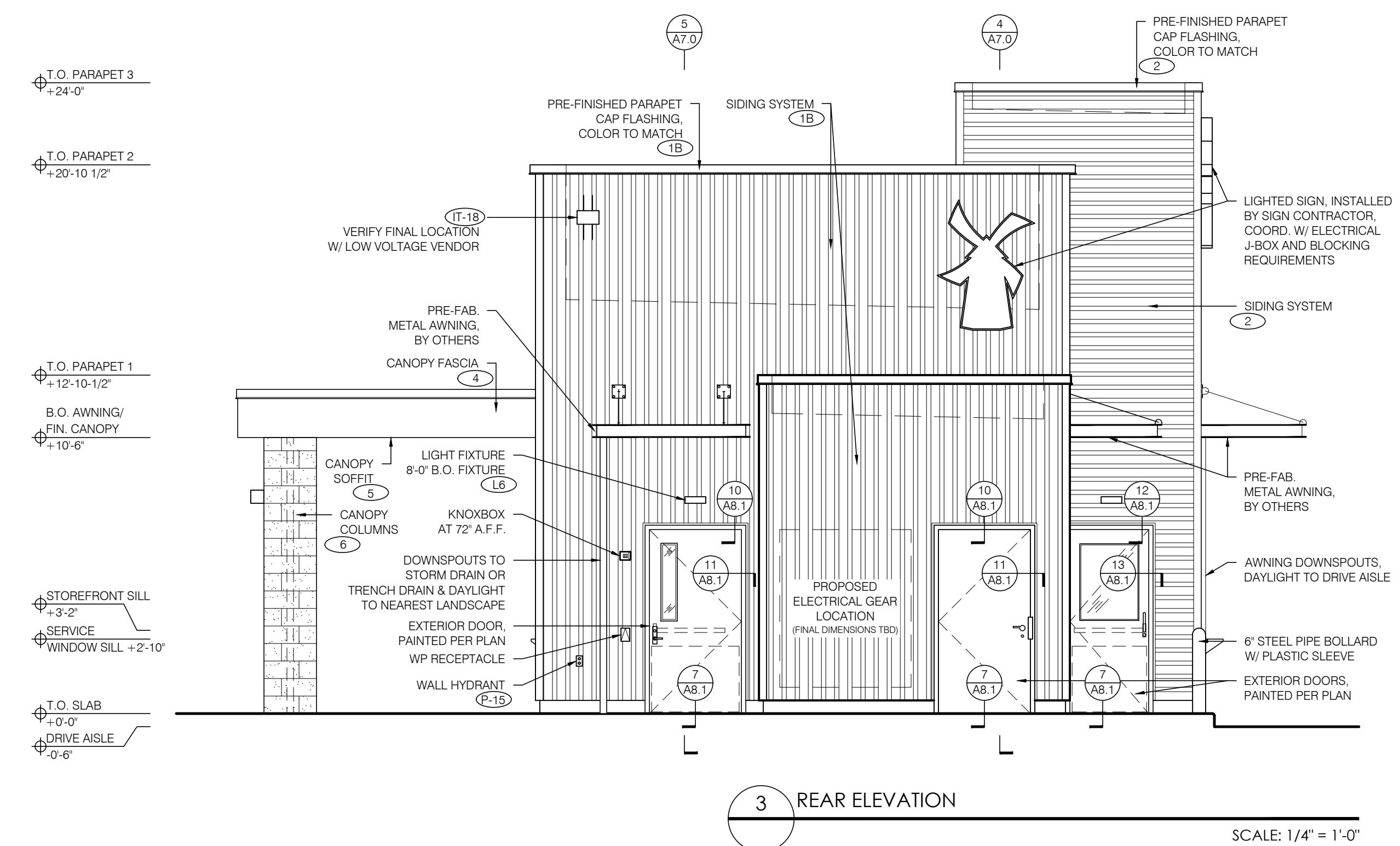
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EXTERIOR FINISH SCHEDULE - PROTOTYPICAL w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	METAL PANEL	WESTERN STATES METAL ROOFING	WESTERN WAVE, 24 ga.	ORIENTATION: VERTICAL; COLOR: BLDG DB DARK GRAY
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ZONE 2 (TOWER)				
2	METAL PANEL	WESTERN STATES METAL ROOFING	WESTERN WAVE, 24 ga.	ORIENTATION: HORIZONTAL; COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	CMU VENEER AND SILL	BASALITE	4-8-16, SPLIT FACE	COLOR: CHARCOAL - REVIEW FINAL COLOR SELECTION W/ DBC
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x6, T&G, 1/8" REVEAL, SEALED
6	COLUMNS	BASALITE	8-8-16, SPLIT FACE, 3-SIDES	COLOR: CHARCOAL - REVIEW FINAL COLOR SELECTION W/ DB

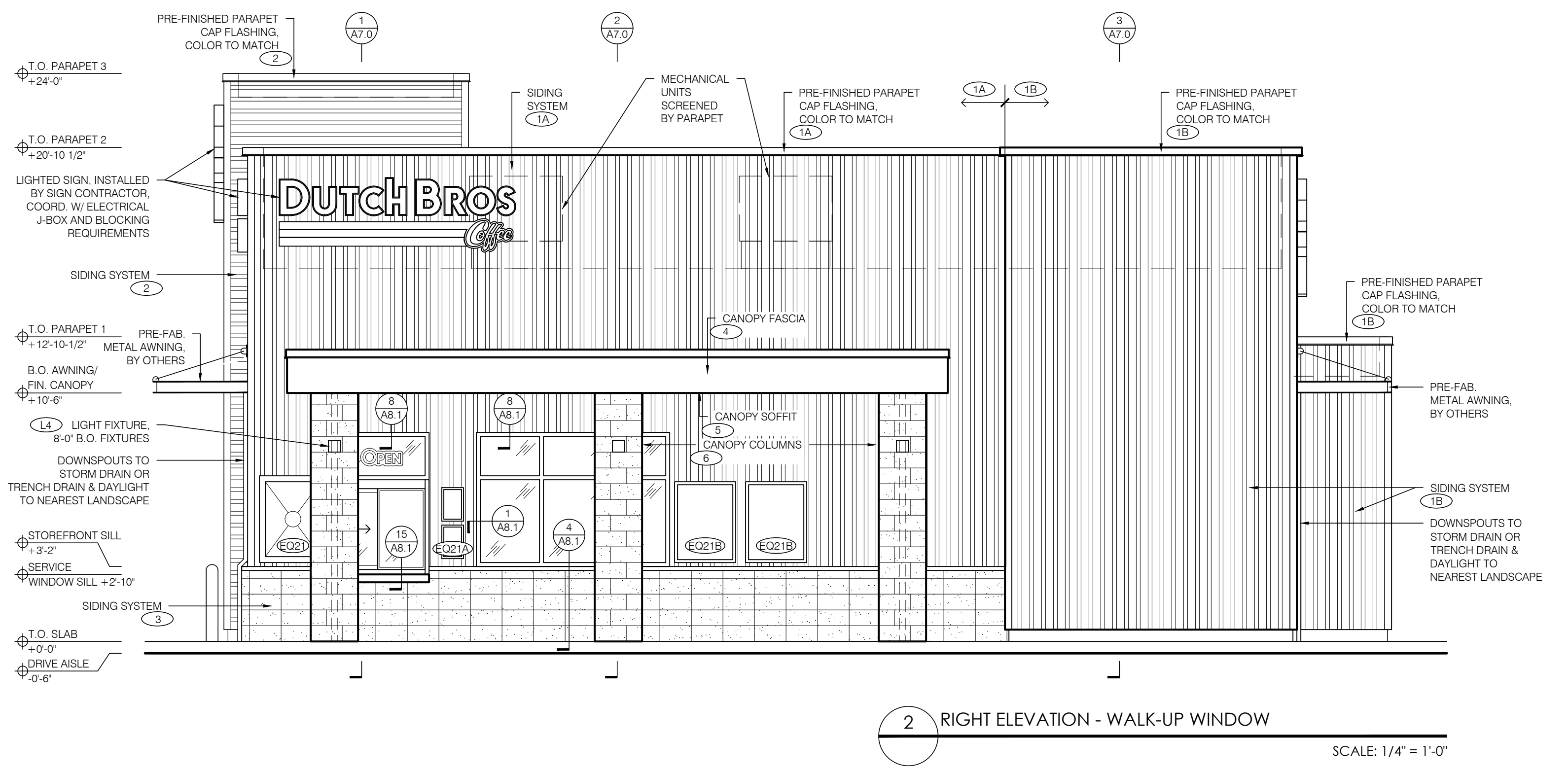
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY



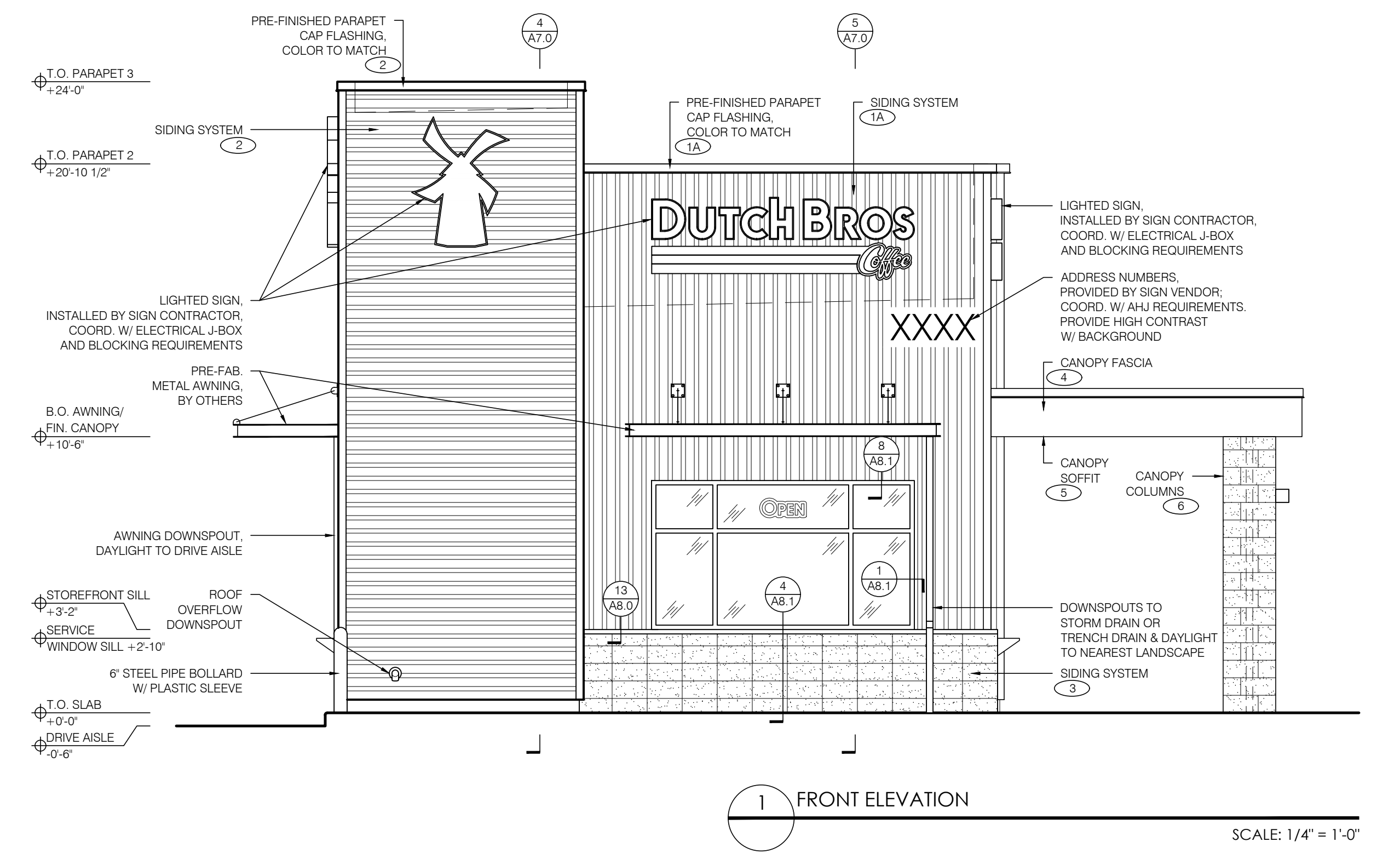
4 LEFT ELEVATION - DRIVE-THRU WINDOW SCALE: 1/4" = 1'-0"



3 REAR ELEVATION SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - WALK-UP WINDOW SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION SCALE: 1/4" = 1'-0"



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Project No: STXXXX (Project Code)  
 Dutch Bros Coffee - New Freestanding Store  
 Everytown, USA  
 for: Dutch Bros Coffee  
 110 SW 4th St.  
 Grants Pass, OR 97526

ISSUED FOR PROTOTYPE  
 RELEASE: 02.01.2023

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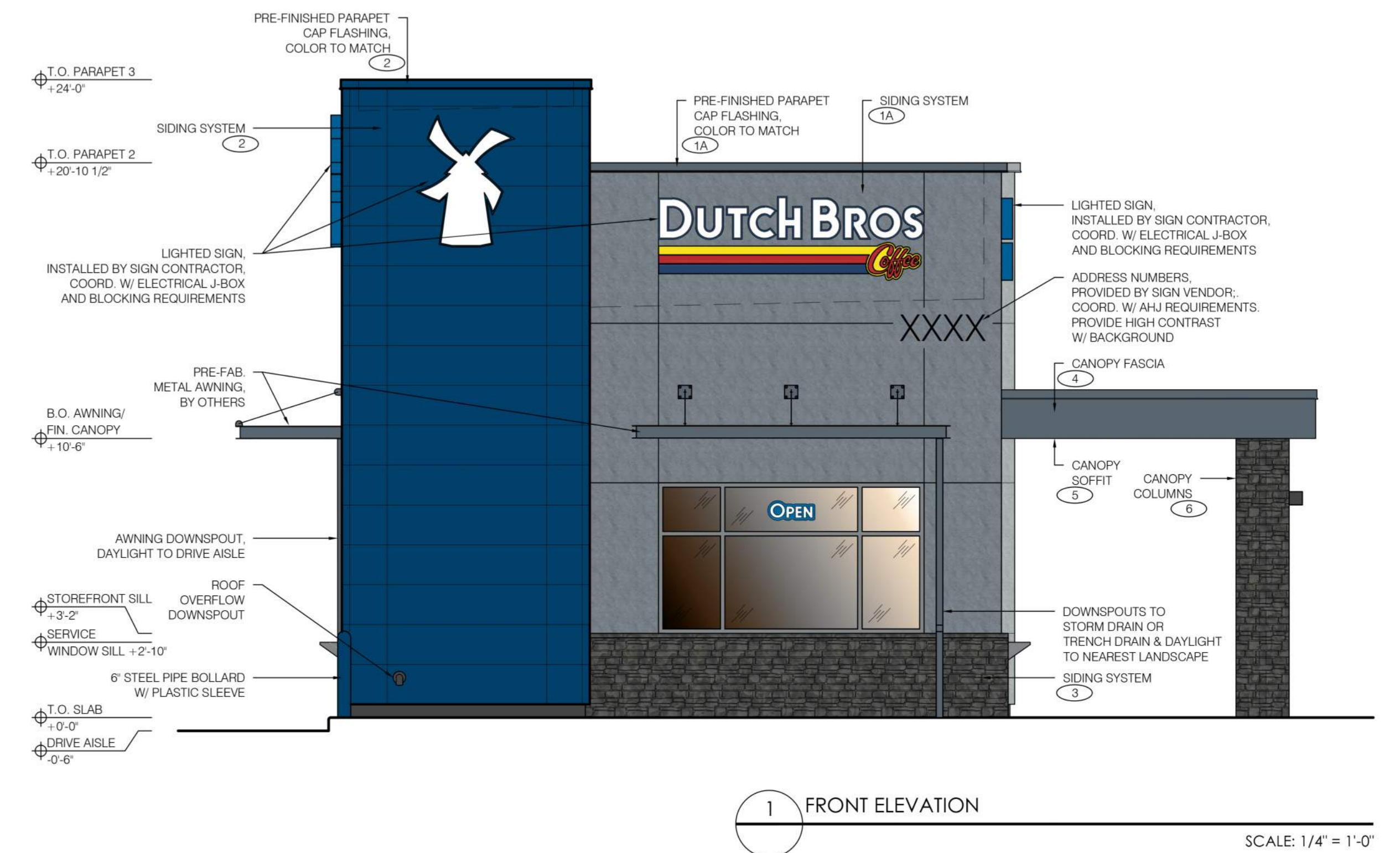
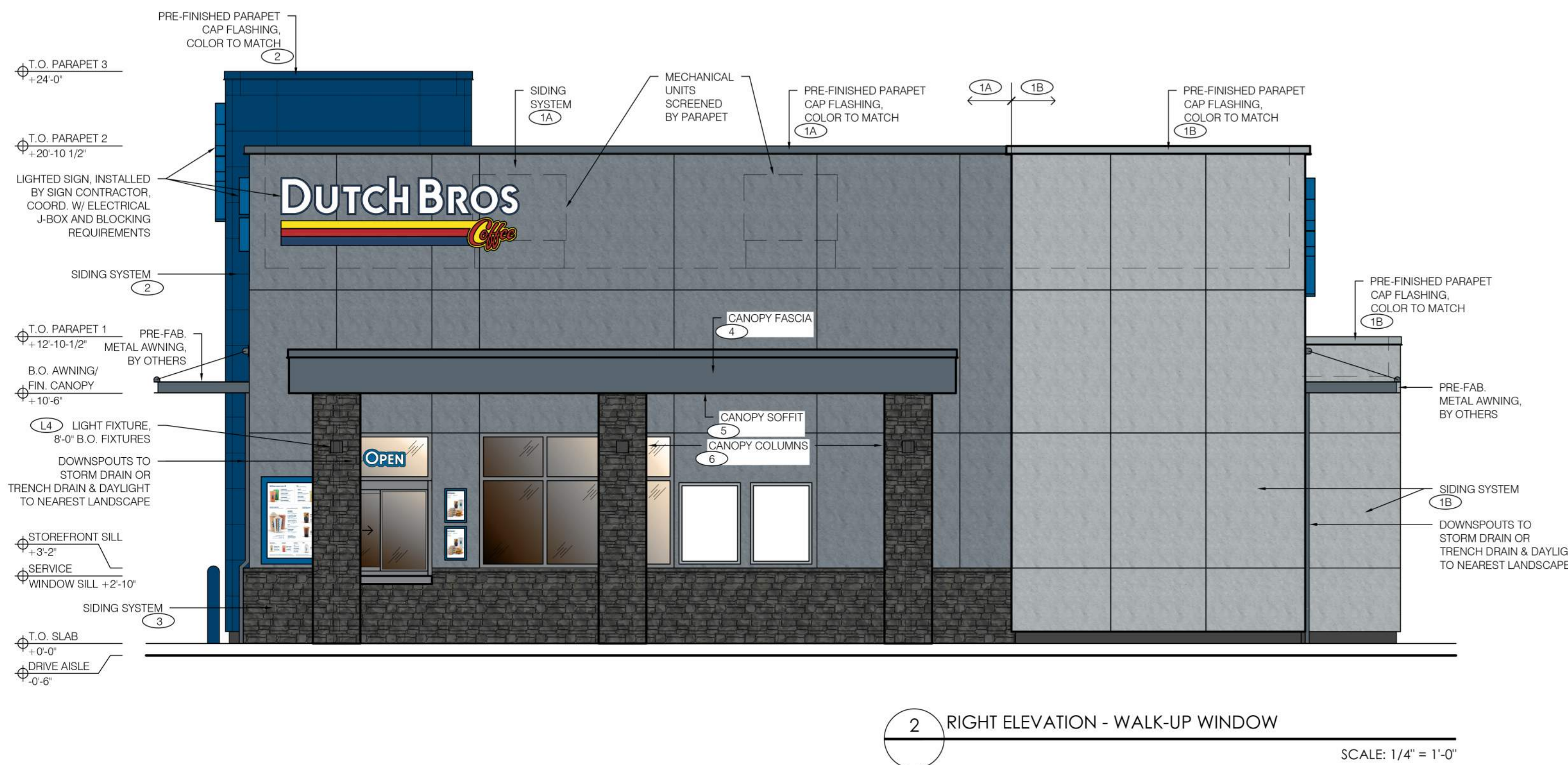
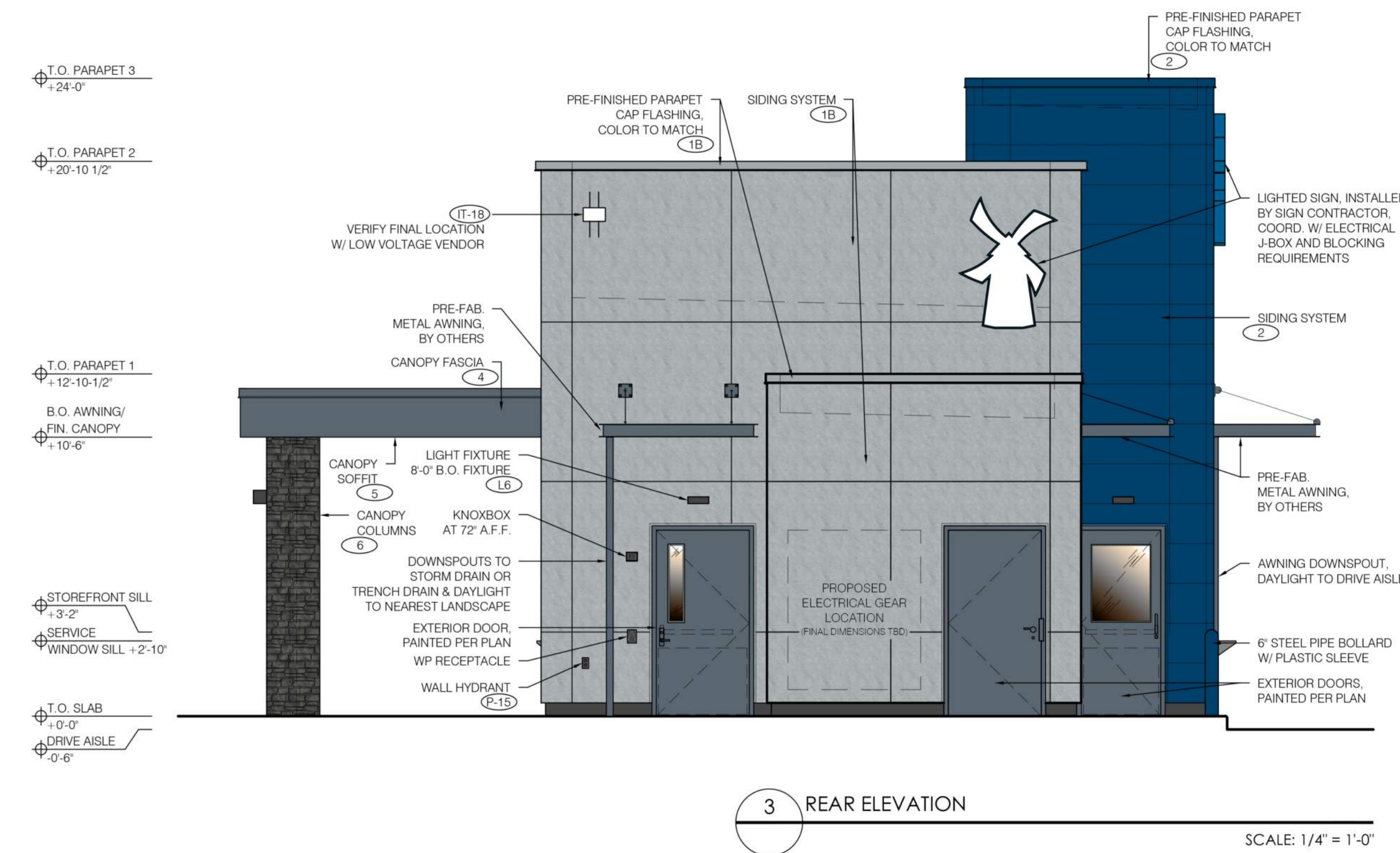
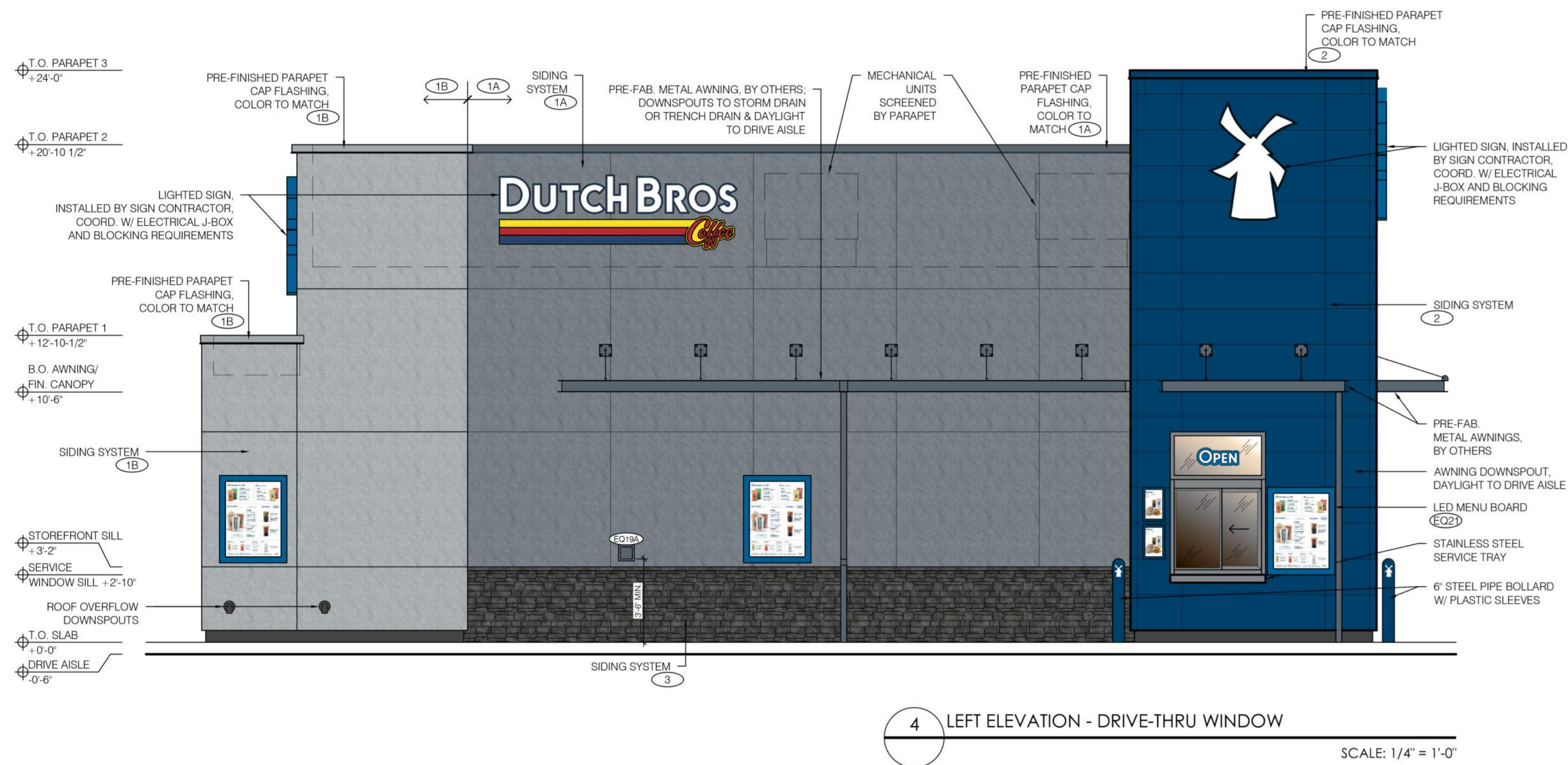
SHEET NAME:  
 BUILDING ELEVATIONS  
 SHEET NUMBER:

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EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	PAINTED; COLOR: BLDG DB DARK GRAY
1B	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	PAINTED; COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.

NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY



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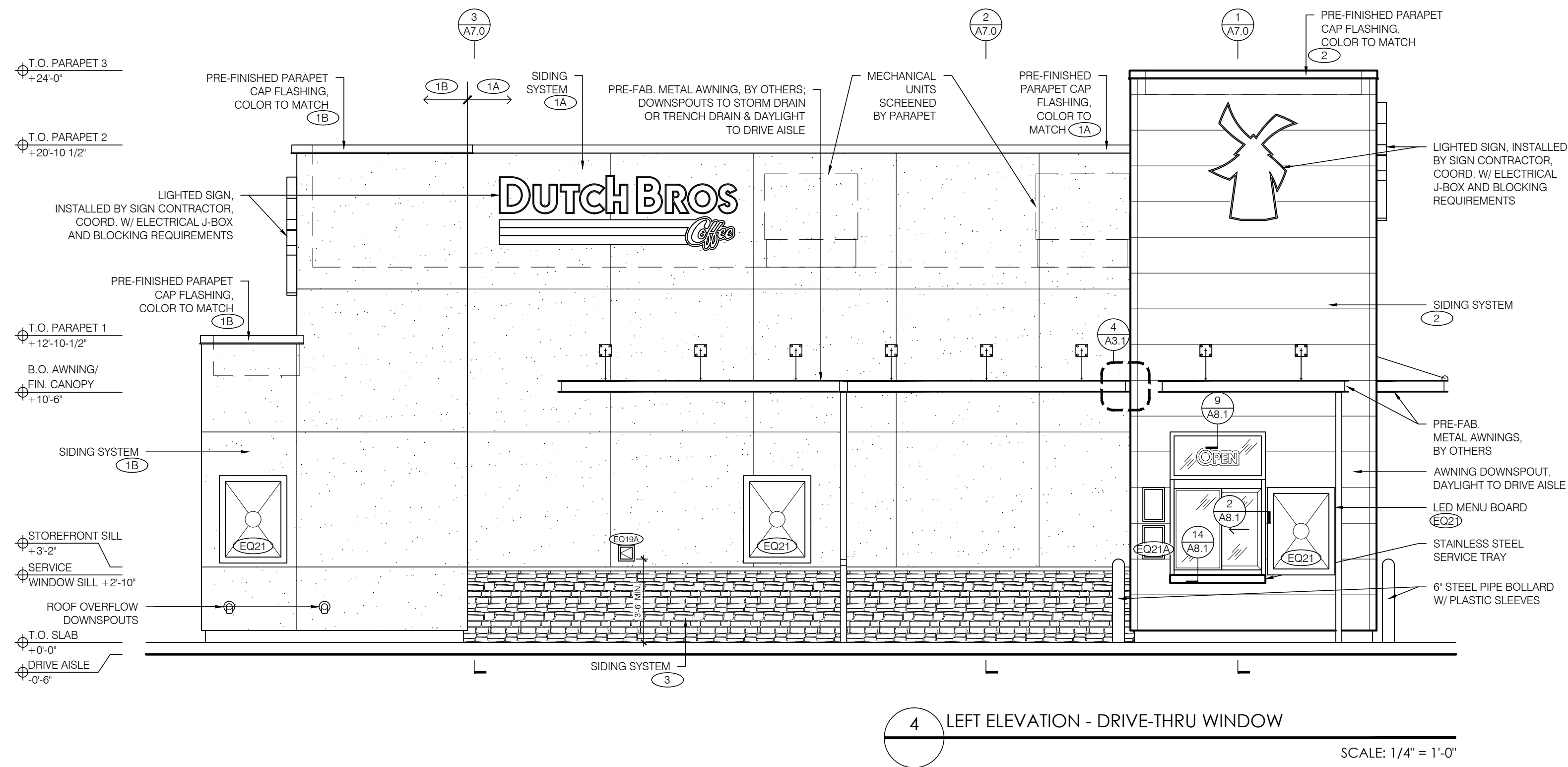
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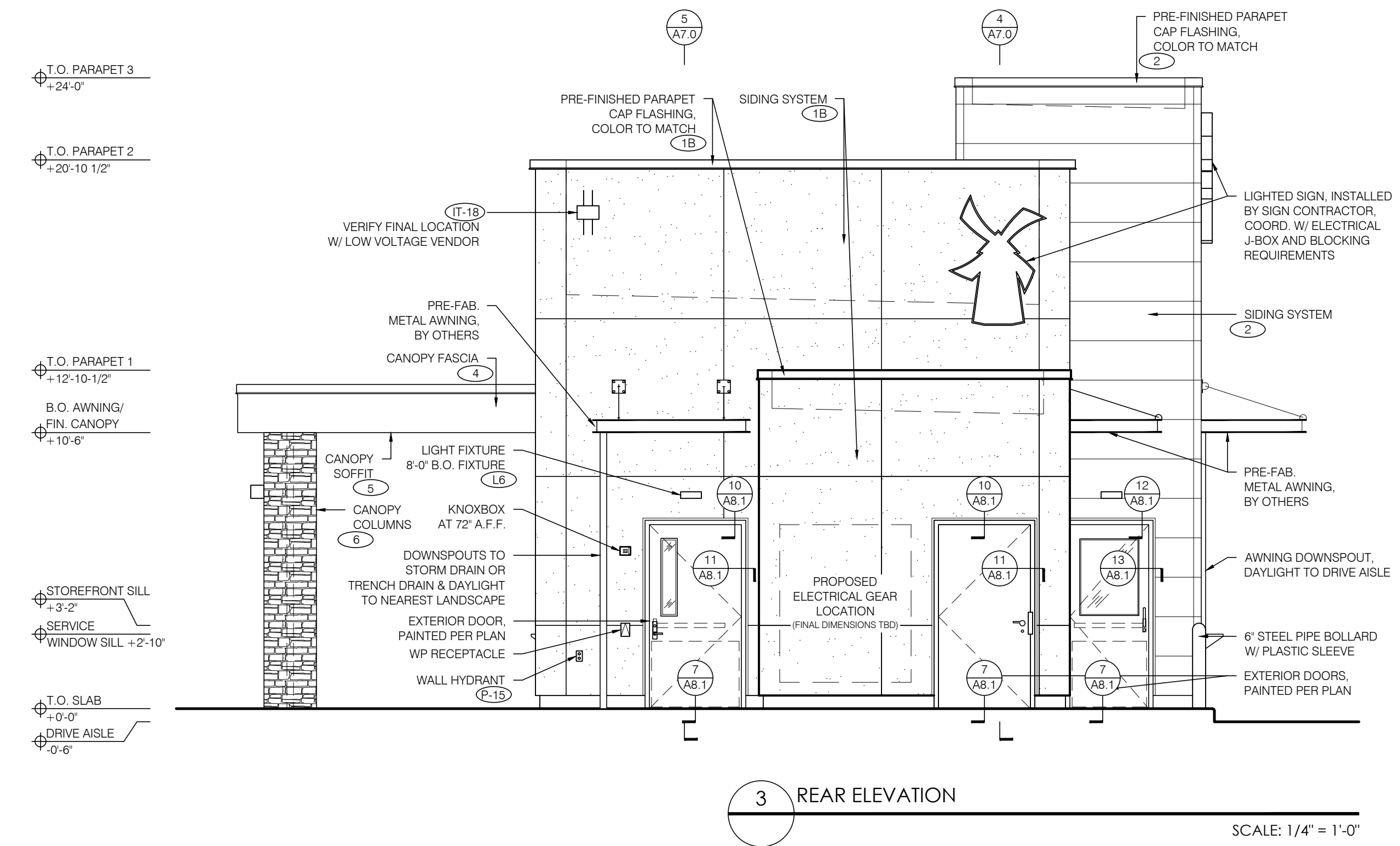
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1B	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH; REVEALS AS SHOWN	PAINTED; COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.

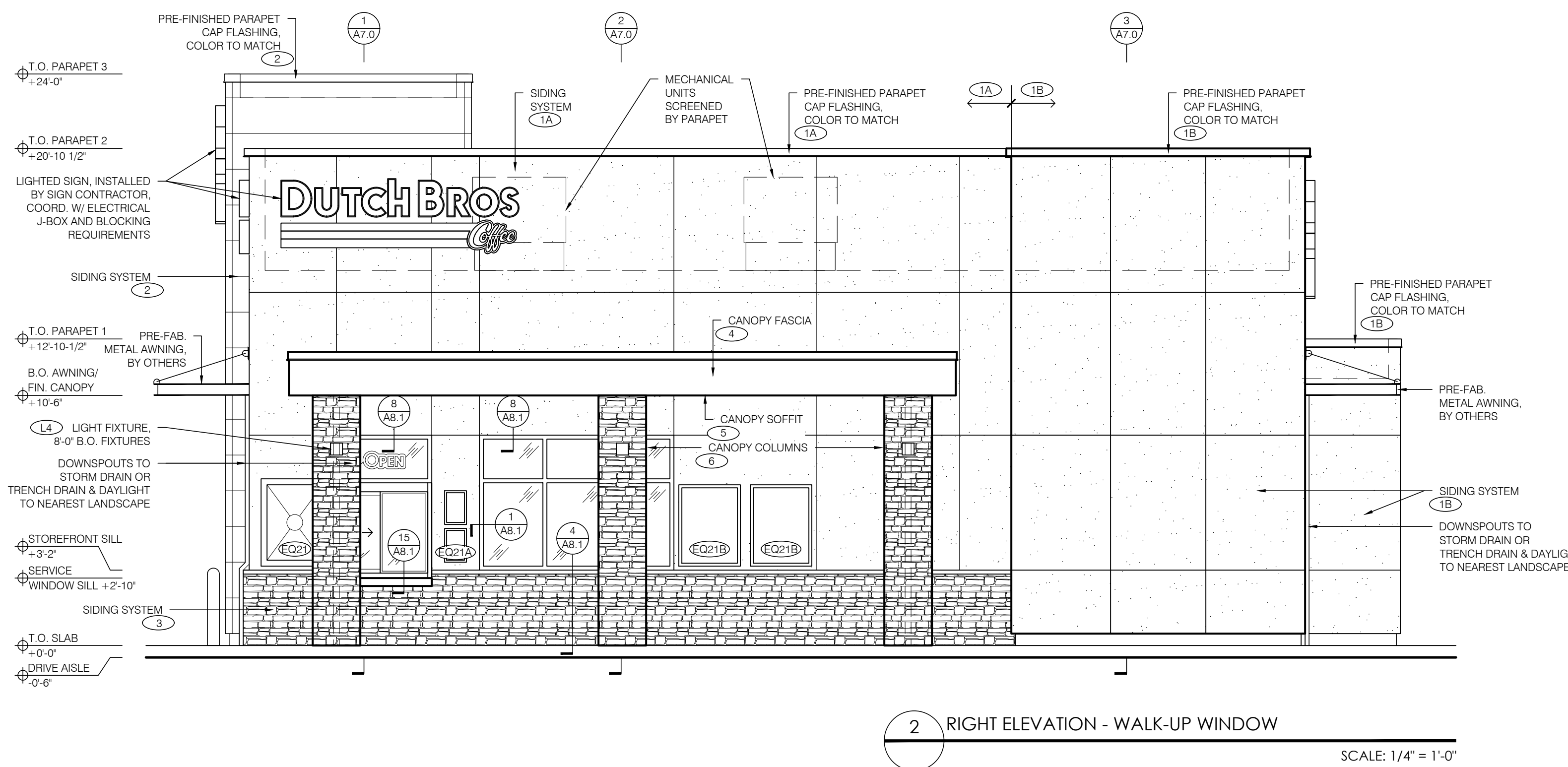
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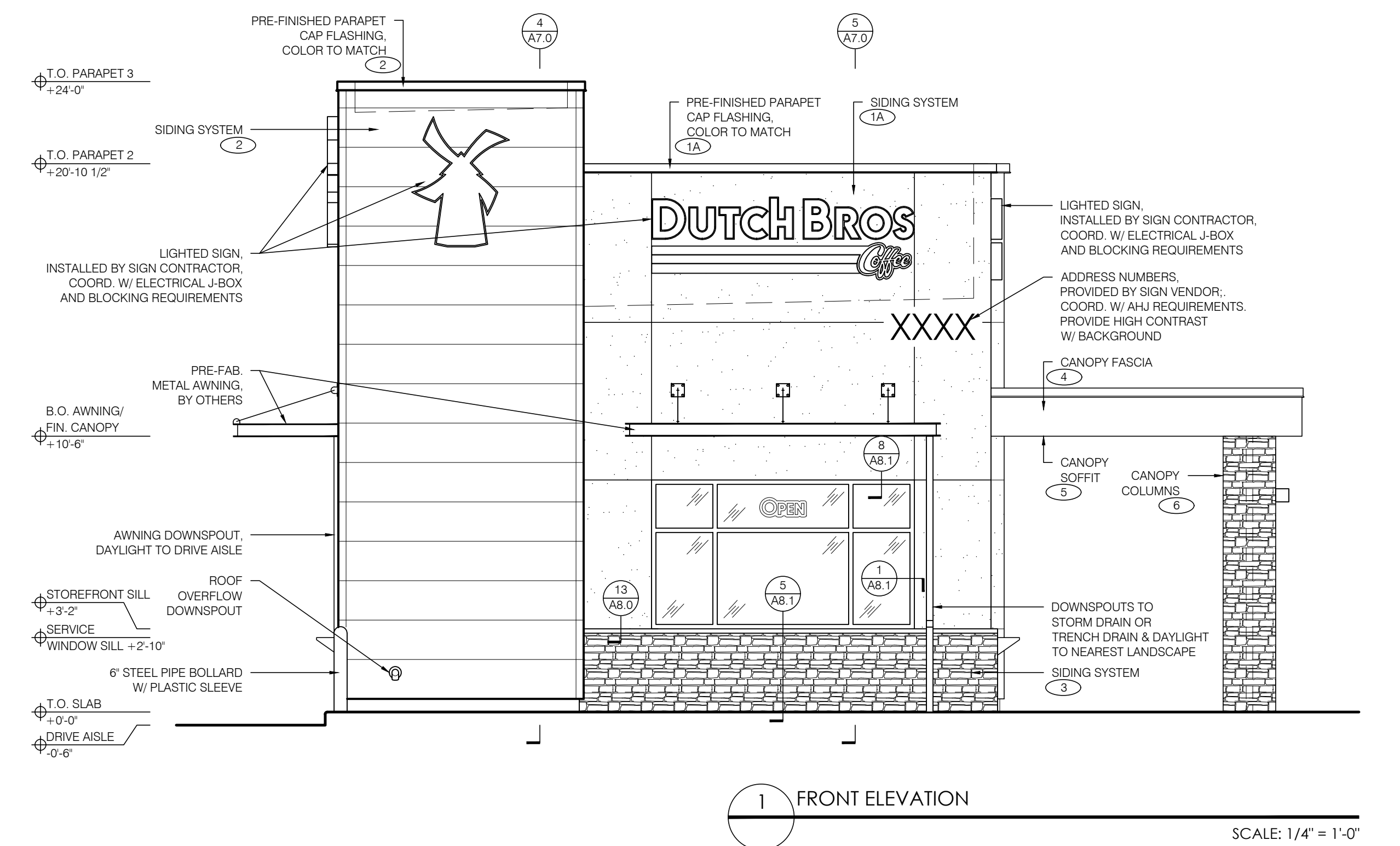
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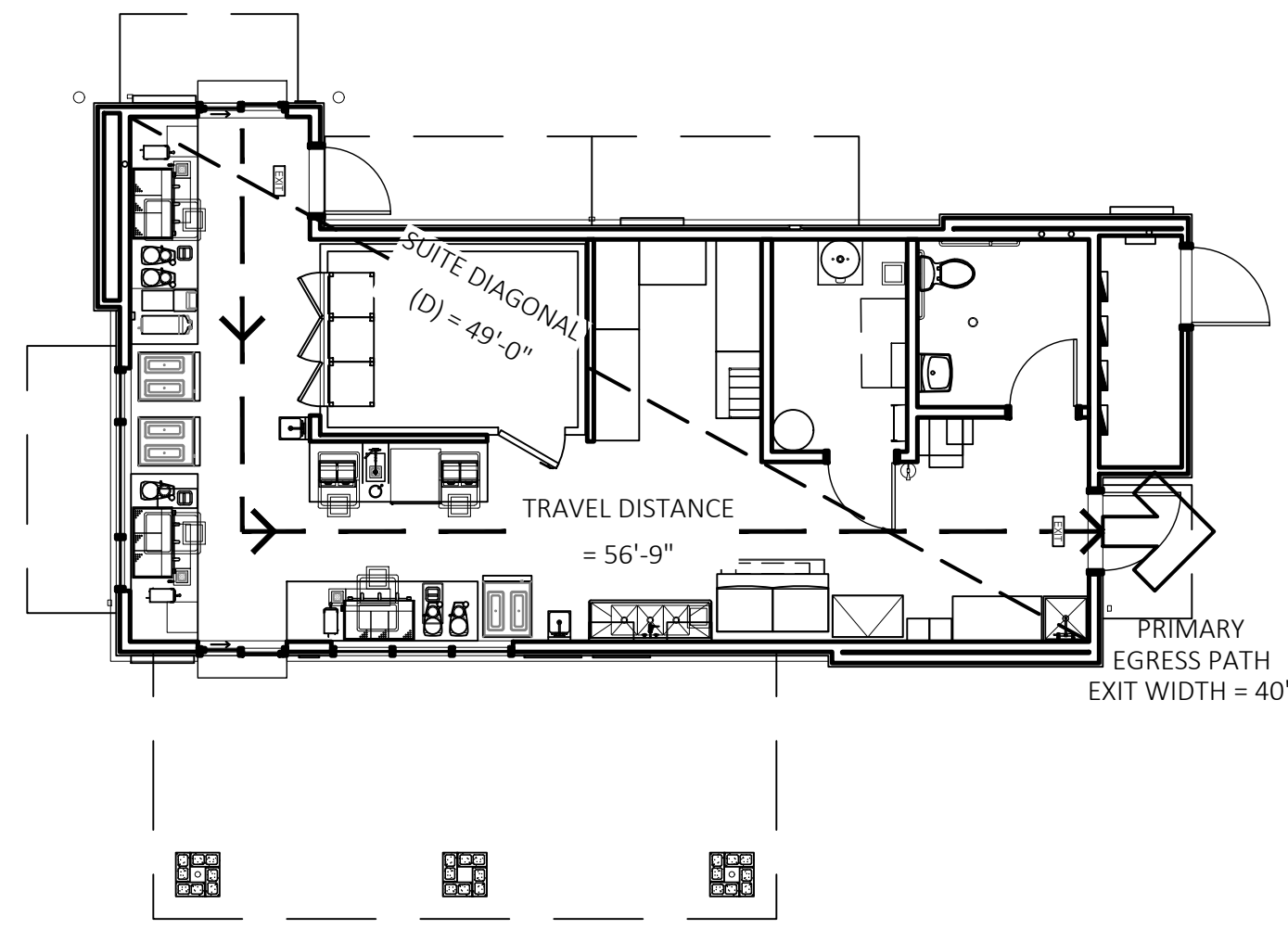
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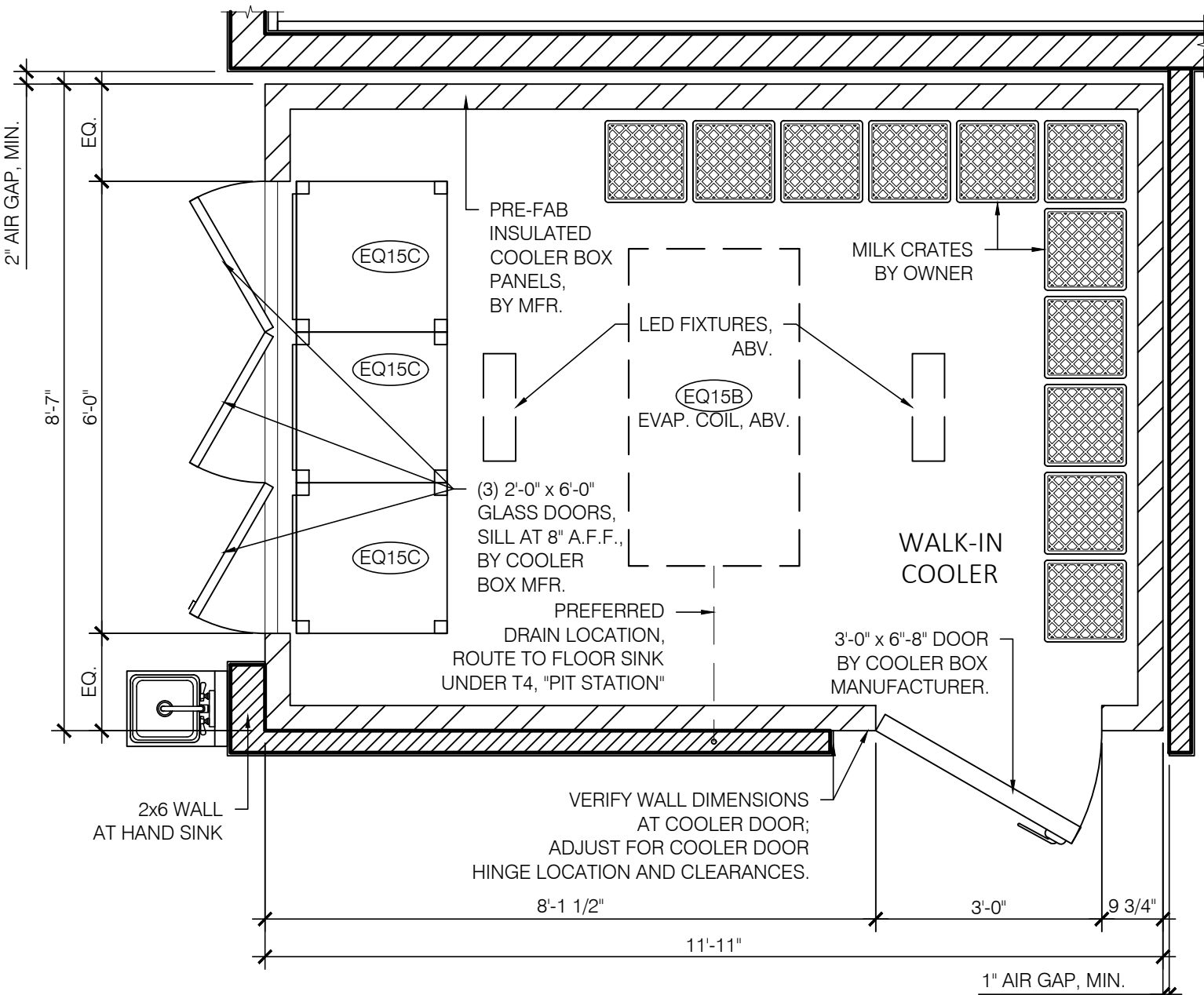
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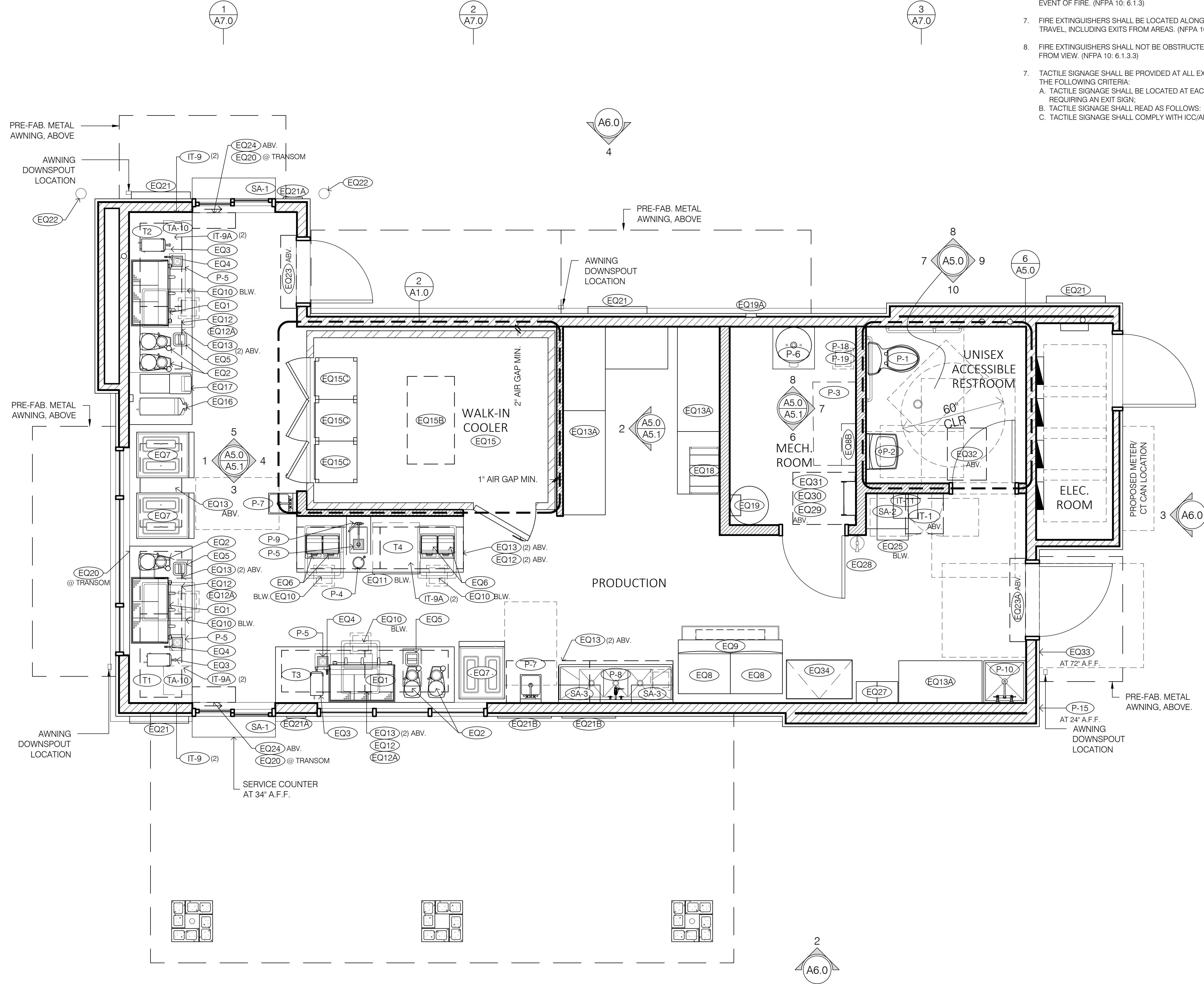
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**3 FIRE/LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"



**2 ENLARGED COOLER PLAN**  
SCALE: 1/2" = 1'-0"



**COOLER GENERAL NOTES:**

1. COOLER INSULATION VALUES FOR WALLS, CEILING, AND DOORS SHALL BE MIN. R-25
2. AUTOMATIC DOOR CLOSERS SHALL BE PROVIDED THAT FULLY CLOSE WALK-IN DOORS THAT HAVE BEEN CLOSED TO WITHIN 1 INCH OF FULL CLOSURE
3. DOORWAYS SHALL HAVE STRIP DOORS, CURTAINS, SPRING-HINGED DOORS OR OTHER METHOD OF MINIMIZING INFILTRATION WHEN DOORS ARE OPEN

**GENERAL NOTES:**

1. THIS DRAWING IS FOR EQUIPMENT LAYOUT PURPOSES ONLY. PLEASE SEE FLOOR PLAN FOR FULLY DIMENSIONED PARTITION LOCATIONS AND ASSEMBLIES.
2. NOTE: PLEASE SEE SHEET G1.0, COVER SHEET, FOR CODE SUMMARY, BUILDING DATA AND EXIT ACCESS REQUIREMENTS.
3. G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
4. ALL FIRE EXTINGUISHERS SHALL BE STATE OF STATE CERTIFIED. ALL FIRE EXTINGUISHERS SHALL BE PROPERLY MOUNTED AT THE HEIGHT REQUIREMENTS OF NO HIGHER THAN 4'-6" A.F.F. TO THE TOP OF THE EXTINGUISHER AND AT LEAST 6" FROM FLOOR TO THE BOTTOM OF EXTINGUISHER. (NFPA 10: 6.1.3.8)
5. ALL PROPERLY MOUNTED FIRE EXTINGUISHERS SHALL NOT EXCEED 75' OF TRAVEL DISTANCE APART. (NFPA 1: 6.1)
6. FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. (NFPA 10: 6.1.3)
7. FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREAS. (NFPA 10: 6.1.3)
8. FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. (NFPA 10: 6.1.3.3)
9. TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:  
A. TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN;  
B. TACTILE SIGNAGE SHALL READ AS FOLLOWS: "EXIT";  
C. TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1



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**EQUIPMENT/ ENLARGED COOLER/ FIRE-LIFE SAFETY PLANS**

SHEET NUMBER:  
**A1.0**

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### WINDOW SCHEDULE

**NOTES:**

- U-FACTOR - FIXED: 0.38
- U-FACTOR - OPERABLE: 0.48
- STOREFRONT SYSTEMS SHALL HAVE A CLEAR ANODIZED ALUMINUM FACTORY FINISH
- PROVIDE IMPACT GLASS (HURRICANE GLASS OR SIM.). SEE SPECS.

### DRIVE-THRU WINDOW DETAIL

#### QUICKSERV IFSC-4040

SCALE: 1/2" = 1'-0"

**QUICK-SERV - IFSC-4040**  
(LEFT & RIGHT - MANUAL OPEN; SELF-CLOSING)  
NOTES:  
- ROUGH OPENING: 48-3/8" (W) x 48-3/8" (H)  
- ACTUAL DIMENSIONS: 48" (W) x 48" (H)  
- SERVICE OPENING: 20-1/4" (W) x 41" (H)

### TYPICAL DOOR PLAN

#### FOR WHEELCHAIR ACCESS

SCALE: 1/2" = 1'-0"

### DOOR NOTES

- THIS PLAN IS ISSUED SO THAT THE CONTRACTOR CAN MAINTAIN FULL COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE FOR WHEELCHAIR MANEUVERABILITY AT DOORS. THIS DETAIL INDICATES PARTIAL REQUIREMENTS OF THIS CODE. IT IS ADVISED THAT THE CONTRACTOR OBTAIN A COMPLETE COPY OF THESE CODES FOR REFERENCE.
- THE DIMENSIONS SHOWN ARE CRITICAL FOR COMPLIANCE WITH THE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER CLEARANCES FOR WHEELCHAIR MANEUVERABILITY. IF CONFLICTS OCCUR, BRING TO DESIGNERS ATTENTION IMMEDIATELY.
- FOR FULL SWING DOORS A MINIMUM 2'-10" WIDE DOOR IS REQUIRED FOR CLEARANCE. FOR 90° SWING DOORS A MINIMUM 3'-0" WIDE DOOR IS REQUIRED FOR CLEARANCE.
- IN ORDER TO ACHIEVE THE REQUIRED 12" OR 18" MINIMUM CLEARANCES AT DOOR AND A MINIMUM PASSAGE WIDTH, THE DOOR FRAME AT HINGE SIDE MAY HAVE TO BE AGAINST THE ADJACENT WALL.
- THE MAXIMUM EFFORT FOR BOTH INTERIOR AND EXTERIOR DOORS IS 5 LBS. CLOSING SPEED IS 5 SEC. MIN. FROM 90° TO 12°.
- 1/2" MAXIMUM HIGH THRESHOLD (ABOVE FLOOR AND LANDING ON BOTH SIDES) AT BUILDING ENTRANCES AND ALL DOORS.
- DOOR HARDWARE AT ALL EXIT DOORS TO ALLOW DOORS TO BE OPENED FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR EFFORT PER APPROPRIATE CODE.
- SIGNAGE FOR ONLY MAIN ENTRY DOORS ALLOWED TO HAVE KEY LOCKING DEVICES TO STATE "THIS DOOR TO REMAIN UNLOCKED WHEN SPACE IS OCCUPIED" ON A HIGH CONTRAST BACKGROUND.
- 10" HIGH KICK PLATE AT BOTTOM OF GLAZED AND STOREFRONT DOORS
- ALL DOORS EQUIPPED WITH SINGLE-EFFORT, NON-GRASPING TYPE HARDWARE BETWEEN 34" MIN. AND 44" MAX. ABOVE THE FINISHED FLOOR.
- WIDTH OF DOORS TO BE A MINIMUM OF 36" TO PROVIDE REQUIRED 32" NET CLEARANCE WIDTH BETWEEN THE FACE OF THE DOOR AND THE JAMB
- ALL DOORS TO BE KEYS ALIKE; GC TO PROVIDE A TOTAL OF 6 KEYS.

### DOOR TYPE SCHEDULE

**NOTES:**

- REFERENCE DOOR SCHEDULE FOR SIZES AND MATERIALS (TYP.)
- DOOR HARDWARE, CLOSERS, KICKPLATES, PANIC HARDWARE AND THRESHOLDS SHALL BE LOCATED AND INSTALLED PER ACCESSIBILITY AND LOCAL REQUIREMENTS.

### DOOR FRAME TYPE SCHEDULE

**NOTES:**

- REFERENCE DOOR SCHEDULE FOR SIZES AND MATERIALS (TYP.)

### DOOR SCHEDULE

#	SIZE		TYPE	GLASS	MATERIAL		HARDWARE	NOTES:	
	WIDTH	HEIGHT			DR.	FR.			
01	3'-6"	7'-0"	A	1	TEMP.	HM	HMD	GROUP 1	A,B,C,D,E,F
02	3'-0"	7'-0"	B	2	TEMP.	HM	HMD	GROUP 2	A,B,C,D,E,F
03	3'-0"	7'-0"	C	2	-	HM	HMD	GROUP 3	B,D,F
04	3'-6"	7'-0"	D	1	-	HM	HMD	GROUP 4	B
05	3'-0"	7'-0"	E	1	-	HM	HMD	GROUP 5	B
06	3'-0"	3'-0"	F	MFR	-	MFR	-	GROUP 6	SEE SHEET A4.0 FOR LOCATION

**NOTES:**

HM: HOLLOW METAL, 16 GA.  
HMD: HOLLOW METAL WELDED & DIMPLED

- ENSURE EMERGENCY HARDWARE IS IN WORKING CONDITION.
- DOOR & FRAME SHALL BE PAINT GRADE & PAINTED PT-2
- DOOR TO HAVE SIGN POSTED ABOVE THAT STATES: "THIS DOOR TO REMAIN UNLOCKED WHILE SPACE IS OCCUPIED."
- CLOSER SHALL BE BOLTED THROUGH DOOR LEAF & ARM MOUNTED USING HEAD-JAMB MOUNT.
- PROVIDE ADA COMPLIANT THRESHOLD SET IN SILICONE SEALANT.
- THE MAX PULL/PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. W/ EFFORT APPLIED TO RIGHT ANGLES TO HINGED DOORS.

### HARDWARE GROUPS:

**GROUP 1:**  
1 EA. HINGE - MARKAR FM300, 84"  
1 EA. LOCKSET - TRILGY, T2 ETDL2700, WATERPROOF, US26D  
1 EA. PANIC PUSH HARDWARE - VON DUPRIN 99, 626  
1 EA. DOOR CLOSER - SARGENT 1431 RUO EN, US26D  
1 EA. THRESHOLD - PEMKO 2716A  
1 EA. DOOR SHOE - PEMKO 211APK  
1 EA. DOOR SEAL - PEMKO AM888L  
1 EA. FLOOR STOP & HOLDER - IVES FS43, US26D  
1 EA. KICK PLATE - HAGER 190S, 34"x30", INTERIOR, US32D

**GROUP 2:**  
1 EA. HINGE - MARKAR FM300, 84"  
1 EA. LOCKSET - TRILGY, T2 ETDL2700, WATERPROOF, US26D  
1 EA. PANIC PUSH HARDWARE - VON DUPRIN 99, 626  
1 EA. DOOR CLOSER - SARGENT 1431 RUO EN, US26D  
1 EA. THRESHOLD - PEMKO 2716A  
1 EA. DOOR SHOE - PEMKO 211APK  
1 EA. DOOR SEAL - PEMKO AM888L  
1 EA. FLOOR STOP & HOLDER - IVES FS43, US26D  
1 EA. KICK PLATE - HAGER 190S, 34"x30", INTERIOR, US32D

**GROUP 3:**  
3 EA. HINGES - MCKINNEY T2714 4.5x4.5 NRP, US26D  
1 EA. LOCKSET - ALA531-PL4100IC, W/ PRIVACY FEATURE, US26D  
1 EA. DOOR CLOSER - SARGENT 1431 RUO EN, US26D  
1 EA. FLOOR STOP & HOLDER - IVES FS43, US26D  
1 EA. KICK PLATE - HAGER 190S, 34"x12", US32D FINISH

**GROUP 4:**  
3 EA. HINGES - MCKINNEY T2714 4.5 X 4.5 NRP, US26D  
1 EA. LOCKSET - SCHLAGE L9453 ENTRANCE LOCK SCHLAGE 06 STANDARD HANDLE SATIN FINISH FULL FACE, ESCUTCHEON L583-363 EZ TURN  
1 EA. LATCH GUARD - STAINLESS STEEL, 7"  
1 EA. THRESHOLD - PEMKO 175A-72  
1 EA. DOOR SHOE - PEMKO 211APK  
1 EA. DOOR SEAL - PEMKO AM888L  
1 EA. KICK DOWN - IVES FS555, 5" BLK FINISH

**GROUP 5:**  
3 EA. HINGES - MCKINNEY T2714 4.5 X 4.5 NRP, US26D  
1 EA. LOCKSET - SCHLAGE L9453 ENTRANCE LOCK SCHLAGE 06 STANDARD HANDLE SATIN FINISH FULL FACE, ESCUTCHEON L583-363 EZ TURN  
1 EA. DOOR VENT - ROCKWOOD, LV-V, 24"x12"  
1 EA. KICK DOWN - IVES FS555, 5" BLK FINISH

**GROUP 6:**  
JL INDUSTRIES - EXTERIOR FLUSH ACCESS PANEL XFA-3636HW-R  
36"x36" ACCESS PANEL W/ REMOVABLE FLUSH LOCKING HANDLE, WHITE, W/ RAINHOOD

### FINISH SCHEDULE

TAG	FIN. DESCRIPTION	MFR.	MODEL	REMARKS
<b>FLOOR</b>				
FF-1	FLOOR TILE - TEXTURED	BEDROSANS	6"x6" DOTTI DIAMOND - ANTHRACITE R12 - MATTE	PRODUCTION AREA FIELD TILE
FF-2	FLOOR TILE - SMOOTH	BEDROSANS	6"x6" DOTTI - ANTHRACITE R9 - MATTE	UNDER EQUIPMENT TILE
<b>TILE SUBSTRATE</b>	WATERPROOFING	LATICRETE	HYDRO BAN WATERPROOF/ ANTI-FRACTURE	AS NEEDED
	BOND COAT	LATICRETE	4-XLT GRAY	
	EPOXY GROUT	LATICRETE	IG 2000 IND. EPOXY GROUT #2 KIT BLACK	
	CAULKING	LATICRETE	LATASIL CAULKING	
	FF-3	CONC. SLAB	-	-
<b>BASE</b>				
BF-1	WALL BASE - COVE	BEDROSANS	4"x8" SMOOTH COVE - ANTHRACITE - RADIUS: 29/64"	SANITARY COVE & OUTSIDE CORNERS INSIDE CORNERS TO BE FIELD MITERED
<b>WALL</b>				
WF-1	(FRP) FIBERGLASS REINFORCED PANEL	MARLITE	S 100G - 4x10' PANELS	COLOR: WHITE; PROVIDE ALL NECESSARY TRIM PIECES
WF-2	1/2" CDX	-	-	COLOR: PT-4
<b>GUARDS</b>				
CG	CORNER GUARD	KES	CUSTOM - STAINLESS STEEL	120" LONG W/ 2" WINGS, DRILLED, 90 DEGREE SHARP CORNER, BRUSHED FINISH
WC	WALL CAP	KES	CUSTOM - STAINLESS STEEL	120" LONG W/ 2" WINGS, DRILLED, 90 DEGREE SHARP CORNER, BRUSHED FINISH
WG	WALL GUARD	KES	CUSTOM - STAINLESS STEEL	48" WIDE, WRAP FROM SERVICE WINDOW SILL TO TOP OF COVE BASE, BRUSHED FINISH
<b>CEILING</b>				
CLG-1	VINYL FACED ACT	USG	3260 - SHEETROCK BRAND LAY-IN CEILING PANEL	FLAT WHITE, SMOOTH
CLG-2	FRP OVER 1/2" CDX	MARLITE	S 100G - 4x10' PANELS	COLOR: WHITE; PROVIDE ALL NECESSARY TRIM PIECES; PROVIDE ADHESIVE AND PAN HEAD SCREWS AT 24" O.C. E.W.
CLG-3	1/2" CDX	-	-	COLOR: PT-4
<b>PAINT</b>				
PT-1	BLDG DB LIGHT GRAY	SHERWIN-WILLIAMS	PRODUCT: A89W00153	COLOR: 8656-12046-BLDG DB LIGHT GRAY
PT-2	BLDG DB DARK GRAY	SHERWIN-WILLIAMS	PRODUCT: A89T00154	COLOR: 8656-11295-BLDG DB DARK GRAY
PT-3	BLDG DB BLUE	SHERWIN-WILLIAMS	PRODUCT: A89T00154	COLOR: 8656-12045-BLDG DB BLUE
PT-4	-	SHERWIN-WILLIAMS	SW-7006 - EXTRA WHITE	SEMI-GLOSS FINISH

### GENERAL NOTES:

- ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
- G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
- ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 803. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803.  
  
FLAME SPREAD RATINGS:  
WALL TILE - CLASS A - <-25  
WALL PAINT - CLASS A - <-5  
PLASTIC LAMINATE - CLASS A - <-25  
FRP PANELS - CLASS A - <-25  
STAINLESS STEEL CORNER GUARDS - CLASS A - <-25  
CEILING TILE - CLASS A - <-25
- FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 718.2 AT THE FOLLOWING LOCATIONS:
  - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
  - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
  - AT THE INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER STAIRS IS UNFINISHED.
  - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILINGS AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

### PARTITION KEY

- NEW FULL HEIGHT INTERIOR PARTITION
- NEW EXTERIOR WALL CONSTRUCTION
- NEW PRE-FAB WALK-IN COOLER

### FLOOR PLAN

**FLOOR PLAN NOTES:**

- REFERENCE SHEET A3.1 FOR FLOOR FINISH AND LAYOUT.
- 36" DIAMETER FOUNDATION SONO TUBE (OR SIM.) BLOCK OUT (TYP.)
- PAINT DOOR AND FRAME PT-2
- PROVIDE 2x6 BLOCKING AT HAND SINK

SCALE: 1/4" = 1'-0"

## GNICH ARCHITECTURE STUDIO

AN OREGON LIMITED LIABILITY COMPANY

1001 SE SANDY BLVD, SUITE 100  
PORTLAND, OR 97214  
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DB2550-A.1

### Project No: STXXXX (Project Code)

#### Dutch Bros Coffee - New Freestanding Store

Everytown, USA  
for: Dutch Bros Coffee  
110 SW 4th St.  
Grants Pass, OR 97526

ISSUED FOR PROTOTYPE RELEASE: 02.01.2023

REV: DATE: DESCRIPTION:

REV	DATE	DESCRIPTION

SHEET NUMBER:  
**A2.0**

FLOOR PLAN/ DETAILS/ SCHEDULES

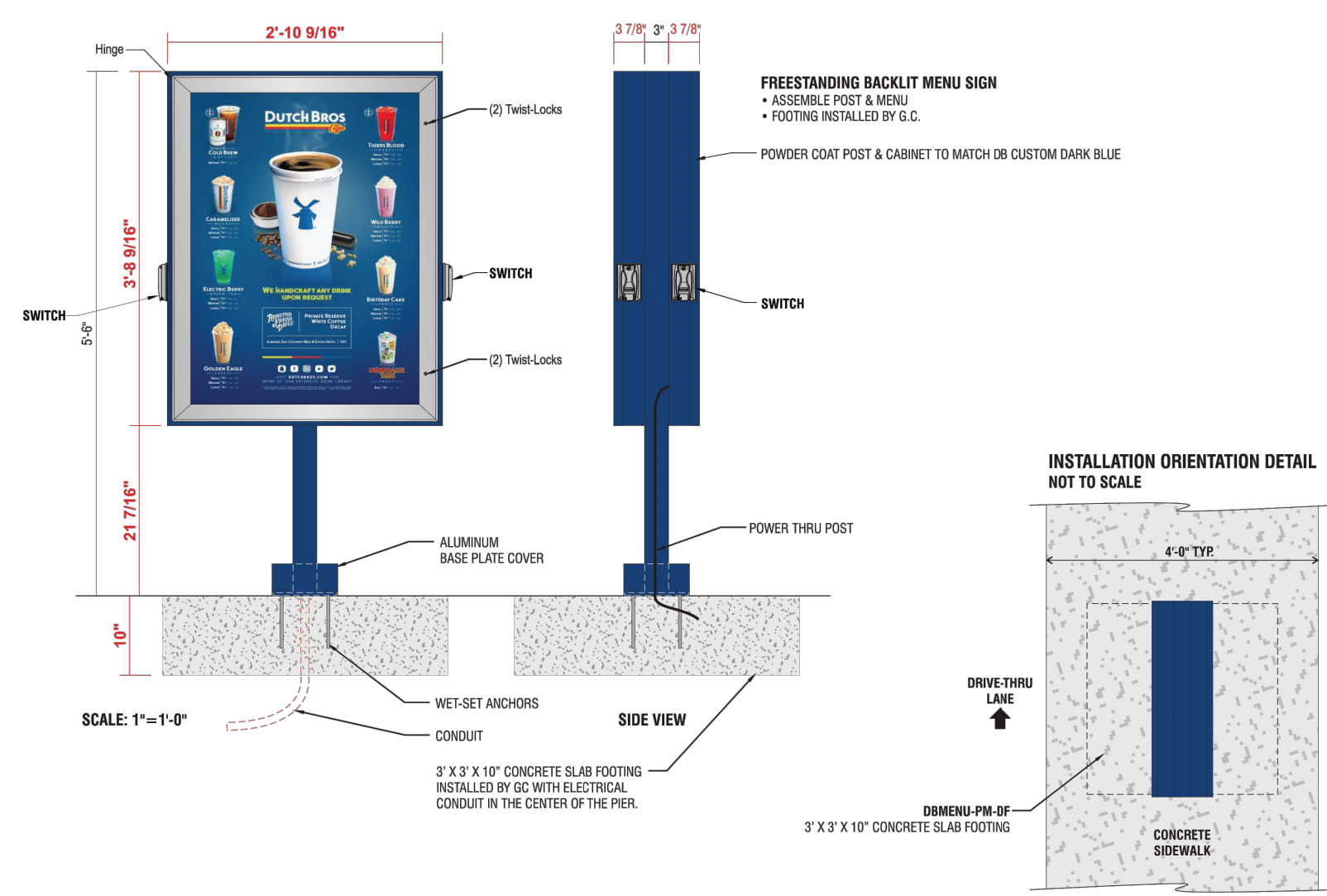
SCALE: 1/4" = 1'-0"

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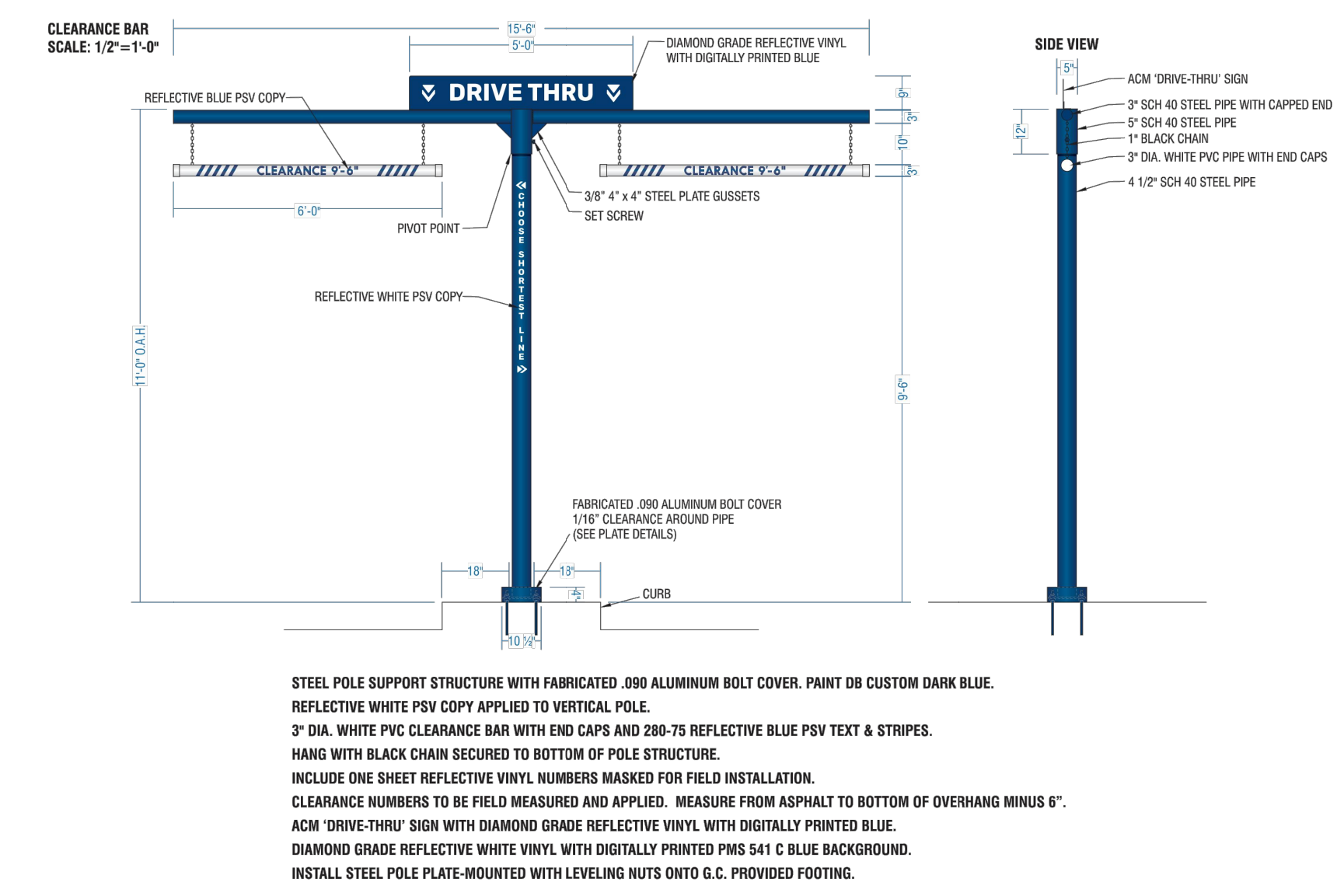
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**NOTES:**

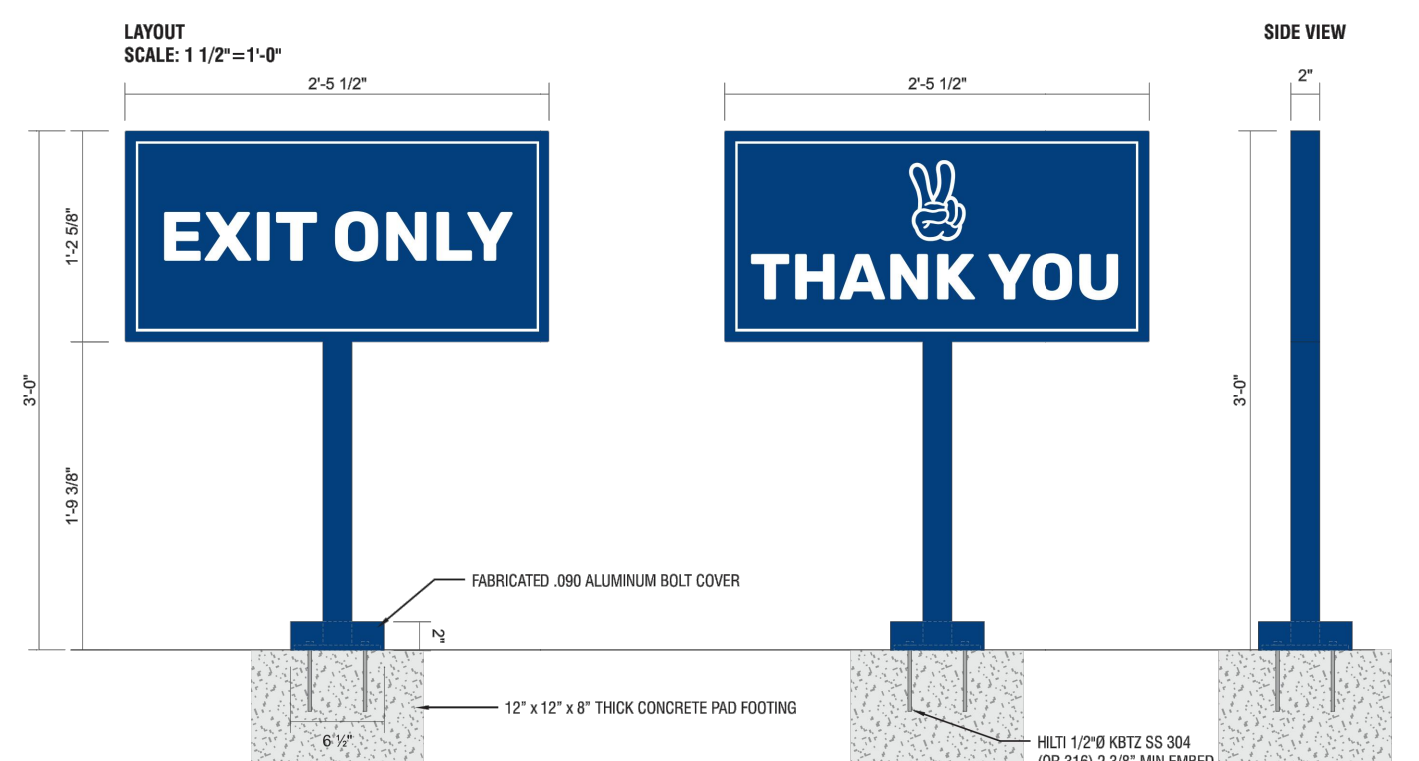
1. MONUMENT, MENU AND DIRECTIONAL SIGNS BY OTHERS.
2. ALL SIGN FOOTINGS ARE TO BE VERIFIED BY LICENSED STRUCTURAL ENGINEER AND FOR LOCAL CODES SOIL CONDITIONS.
3. ALL SIGN FOOTINGS BY GENERAL CONTRACTOR. CONTRACTOR TO COORDINATE WITH SIGN VENDOR FOR HARDWARE.



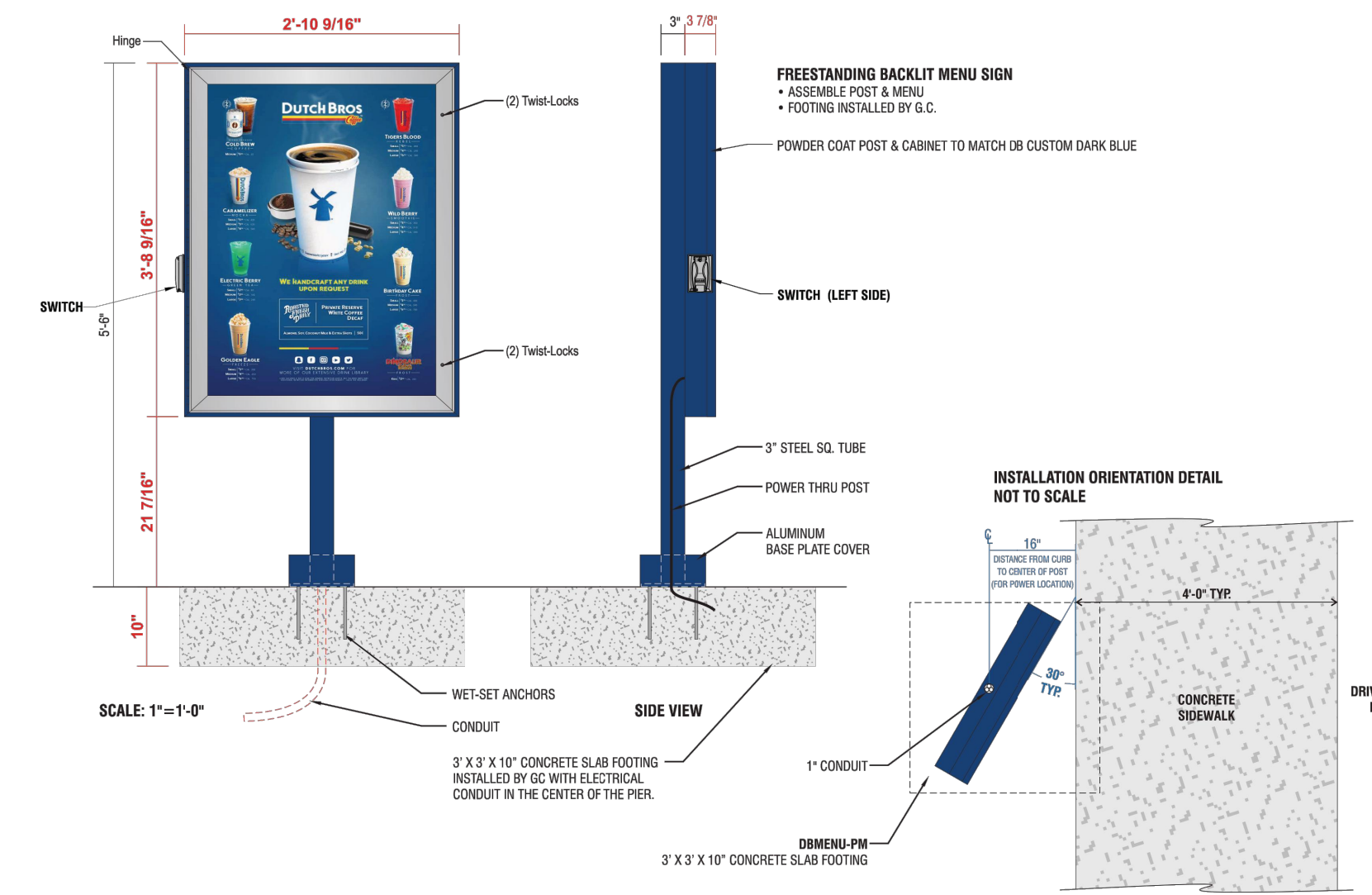
**6 MENU BOARD - DOUBLE, BY OTHERS - REFERENCE ONLY**  
NOT TO SCALE



**3 CLEARANCE BAR BY OTHERS - REFERENCE ONLY**  
NOT TO SCALE



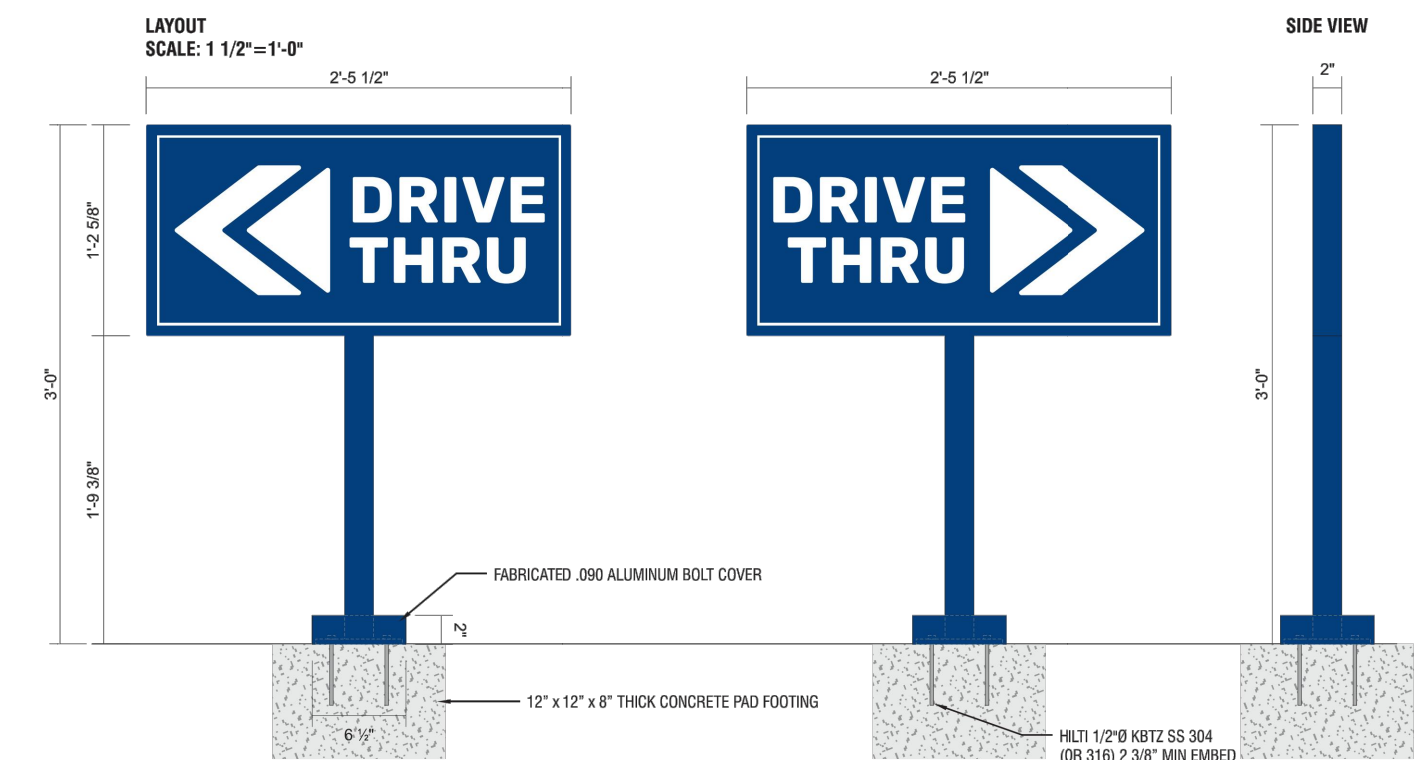
**9 DIRECTIONAL SIGN BY OTHERS - REFERENCE ONLY**  
NOT TO SCALE



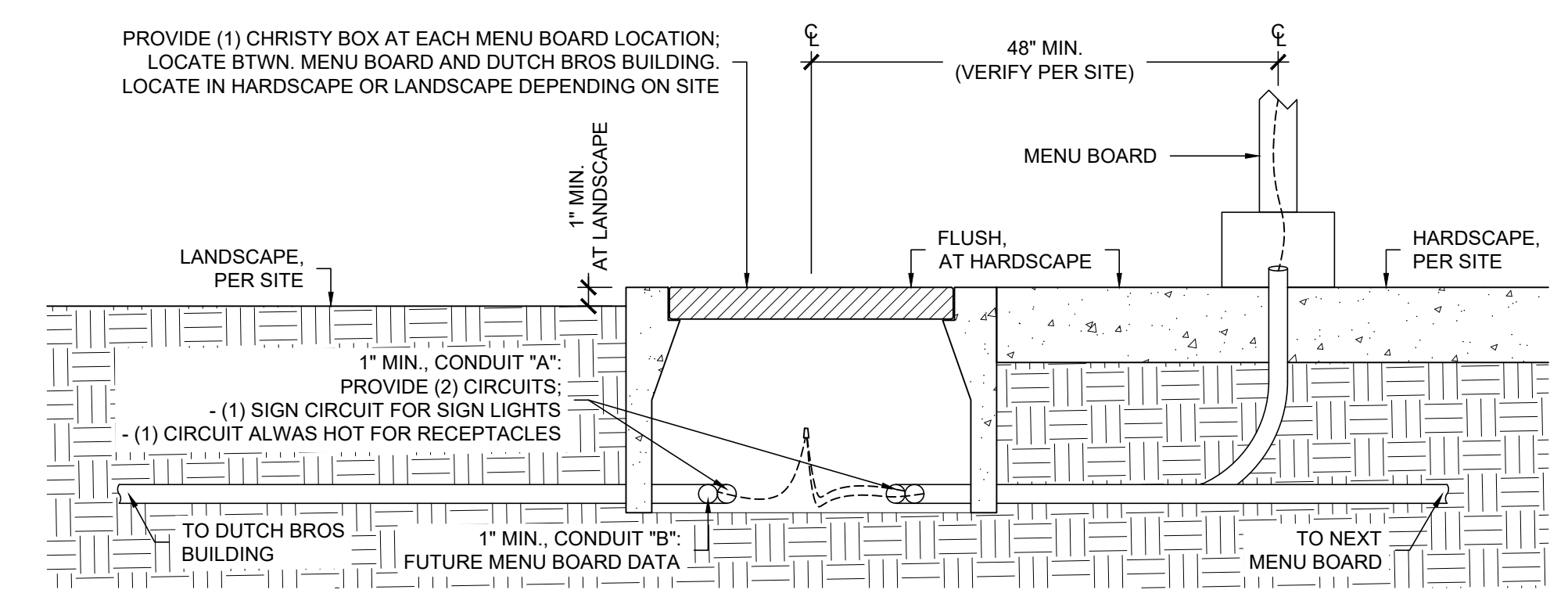
**5 MENU BOARD - SINGLE, BY OTHERS - REFERENCE ONLY**  
NOT TO SCALE



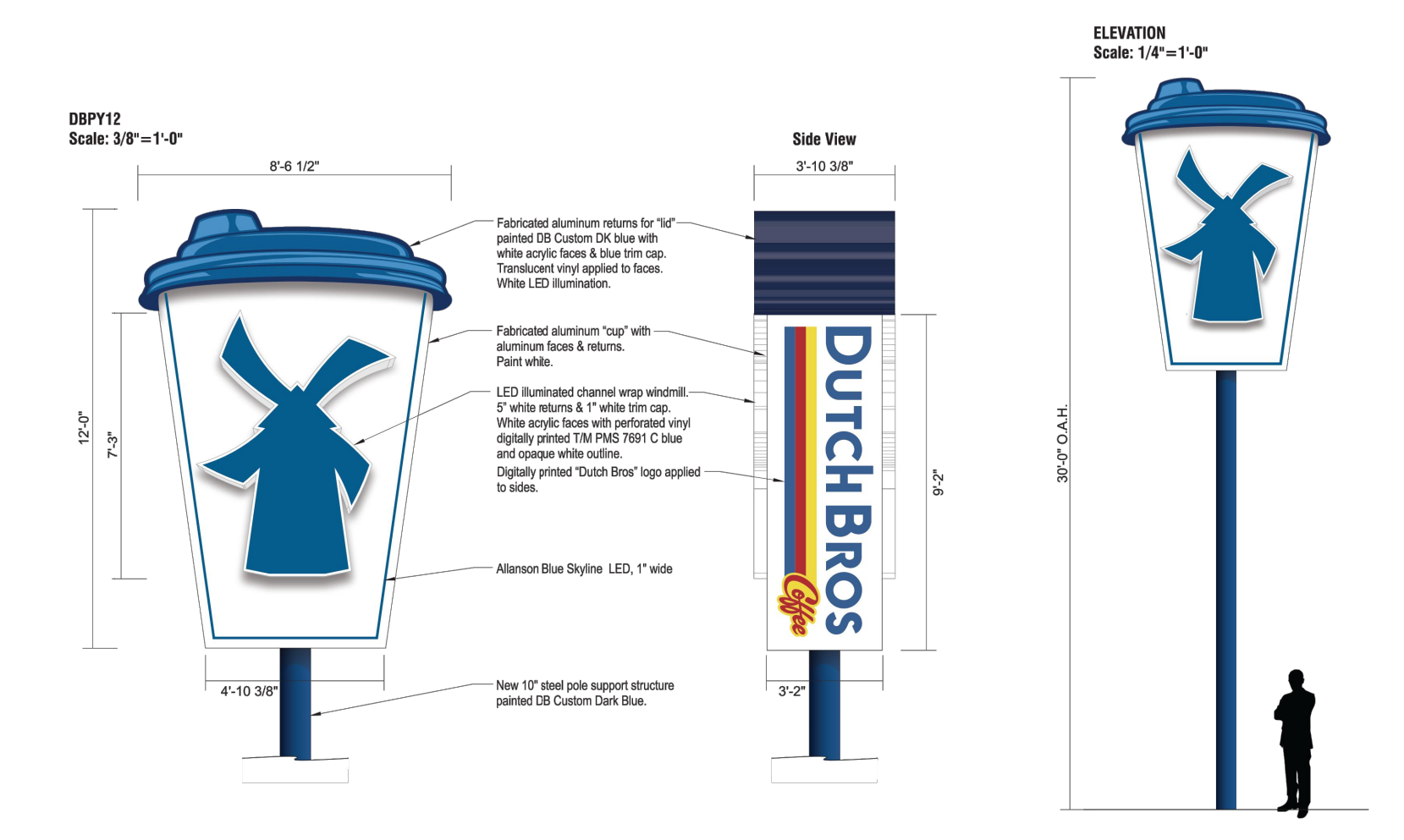
**2 MONUMENT SIGN BY OTHERS - REFERENCE ONLY**  
NOT TO SCALE



**8 DIRECTIONAL SIGN BY OTHERS - REFERENCE ONLY**  
NOT TO SCALE



**4 MENU BOARD & CHRISTY BOX DETAIL - REFERENCE ONLY**  
NOT TO SCALE



**1 PYLON SIGN PLAN BY OTHERS - REFERENCE ONLY**  
NOT TO SCALE



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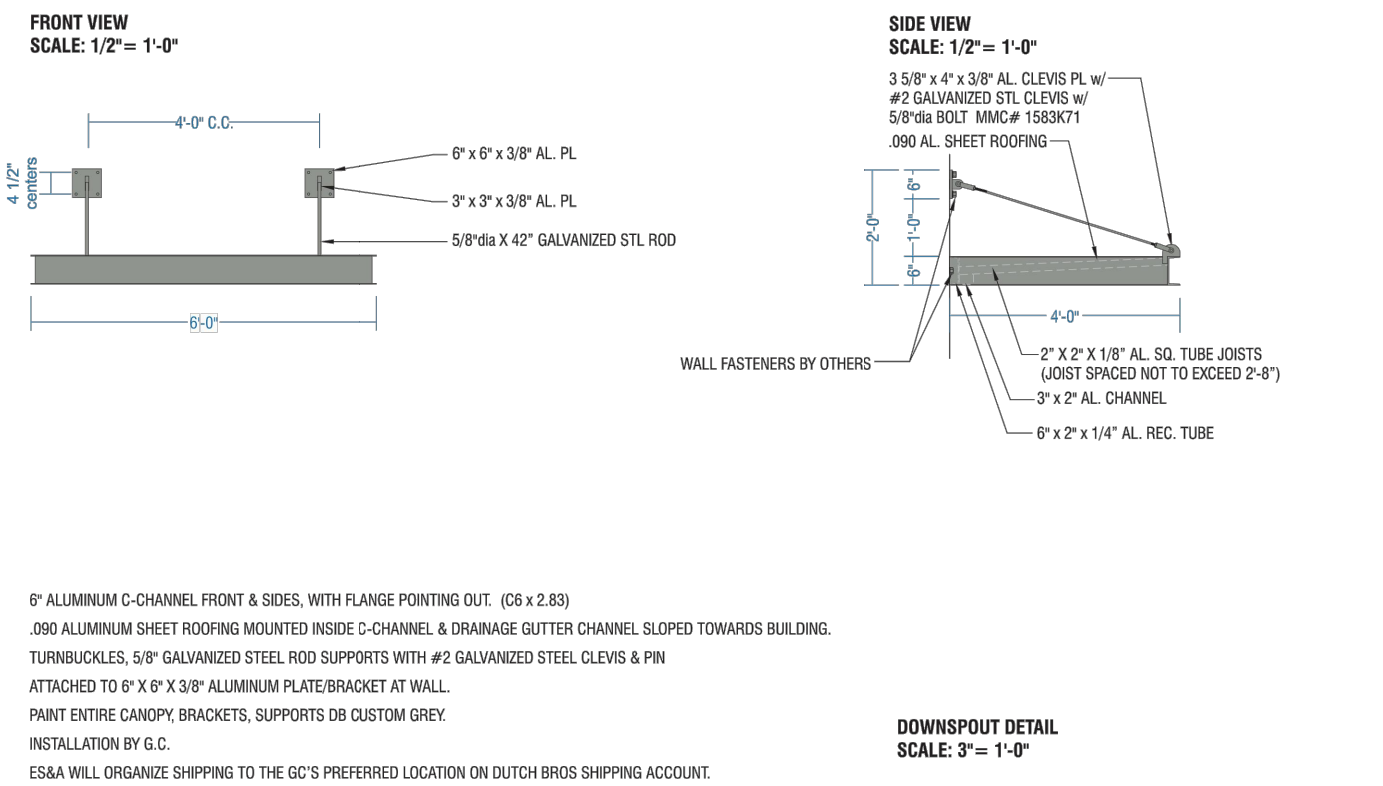
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SHEET NAME:  
SITE SIGNAGE DETAILS

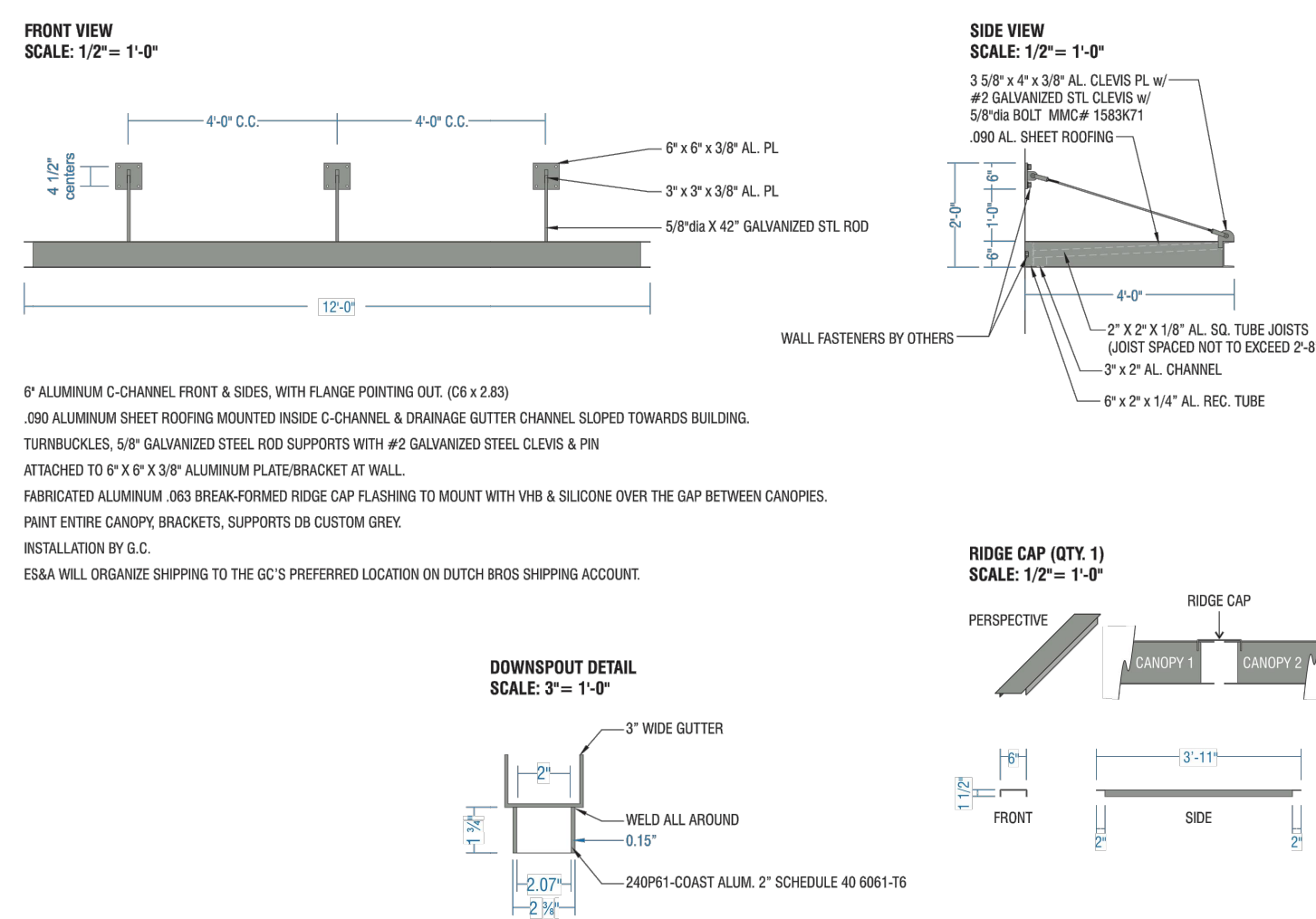
SHEET NUMBER:

**SP1.1**

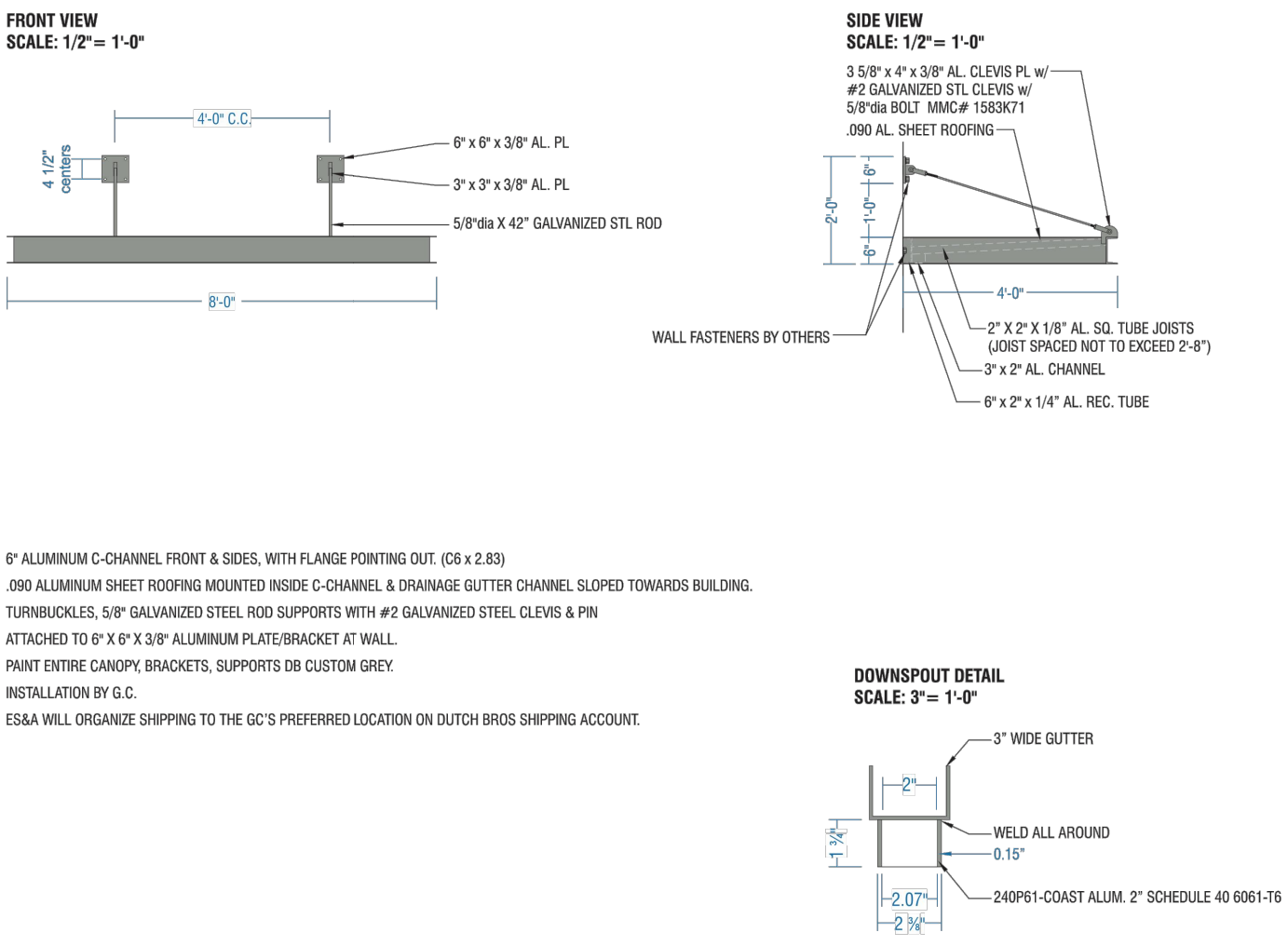
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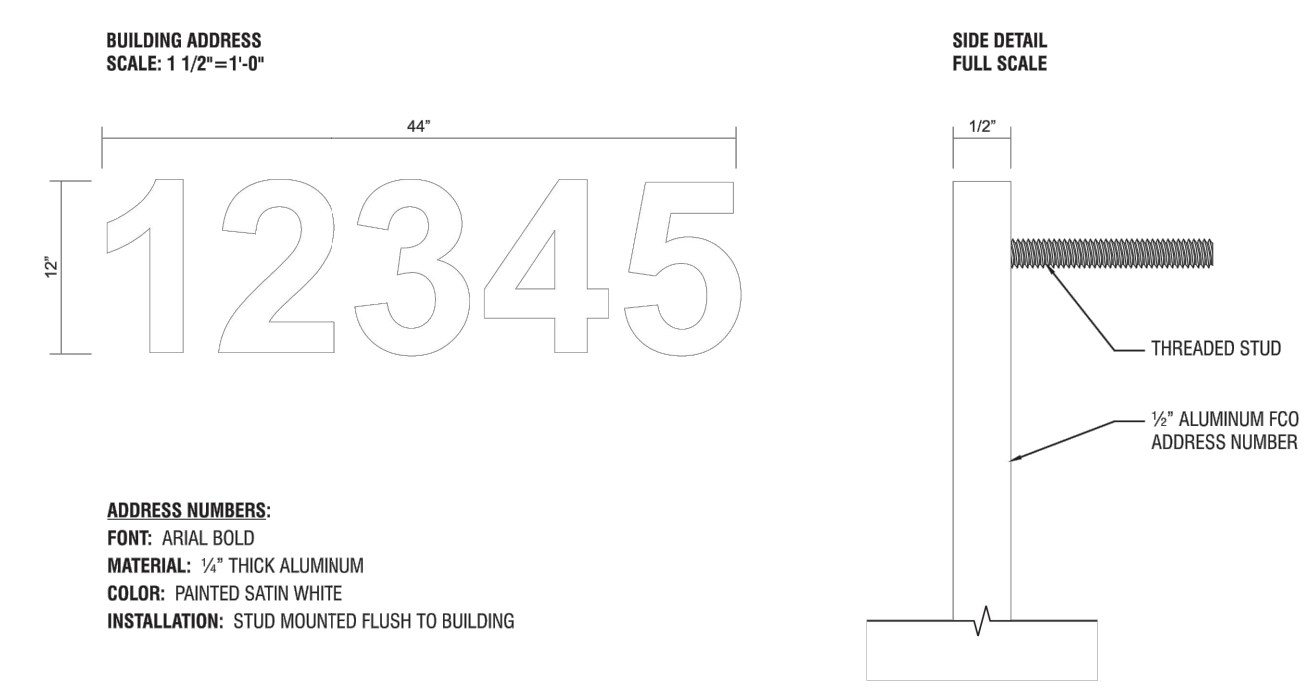
**9** PRE-FAB. METAL AWNING BY OTHERS, AT REAR DOOR - REFERENCE ONLY  
NOT TO SCALE



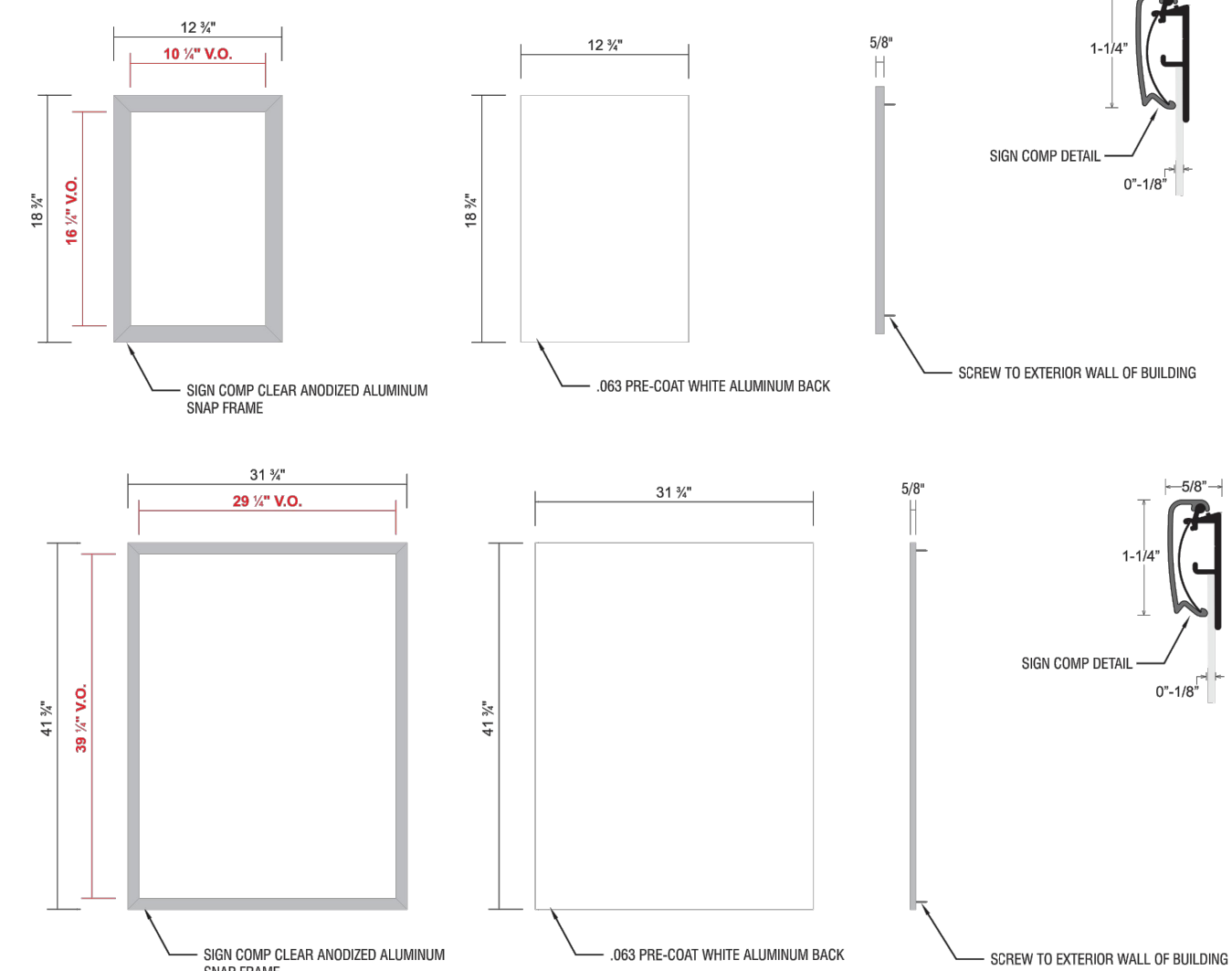
**8** PRE-FAB. METAL AWNING BY OTHERS, AT "RUNNER" DOOR - REFERENCE ONLY  
NOT TO SCALE



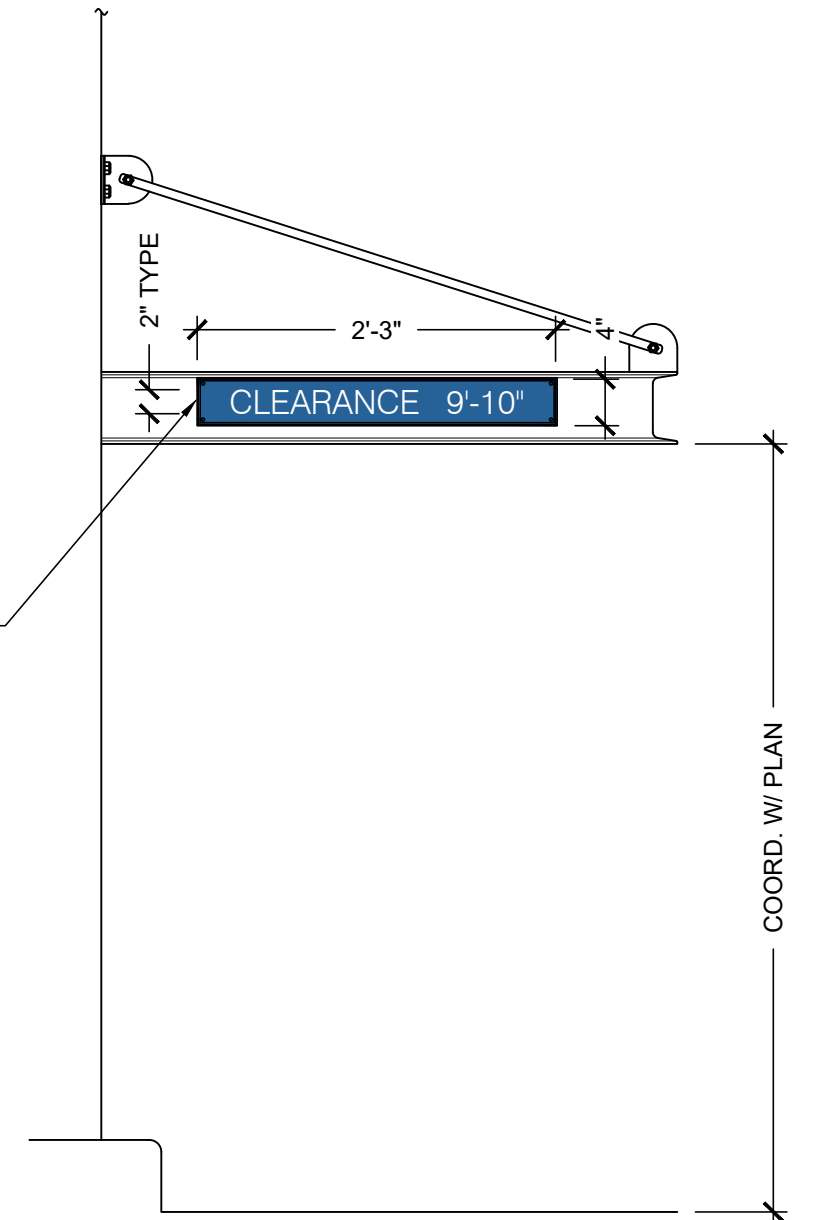
**7** PRE-FAB. METAL AWNING BY OTHERS, AT DRIVE-THRU WINDOW - REFERENCE ONLY  
NOT TO SCALE



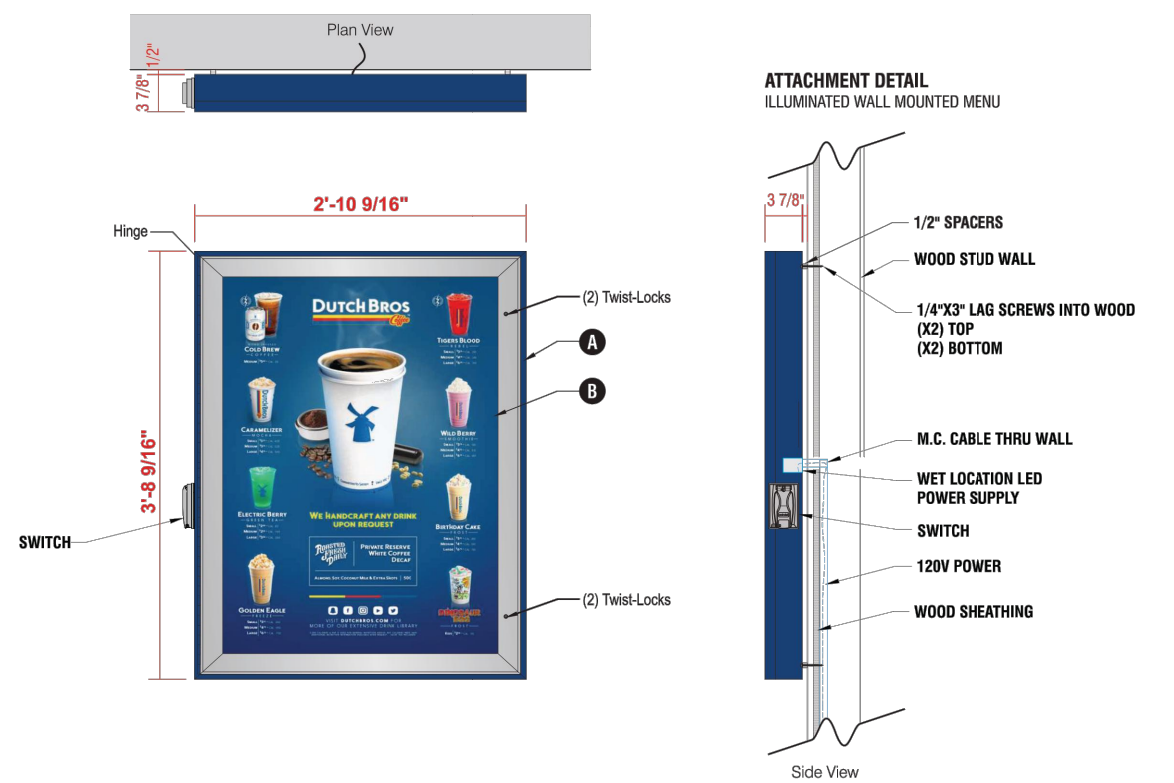
**6** BUILDING ADDRESS NUMBERS BY OTHERS - REFERENCE ONLY  
NOT TO SCALE



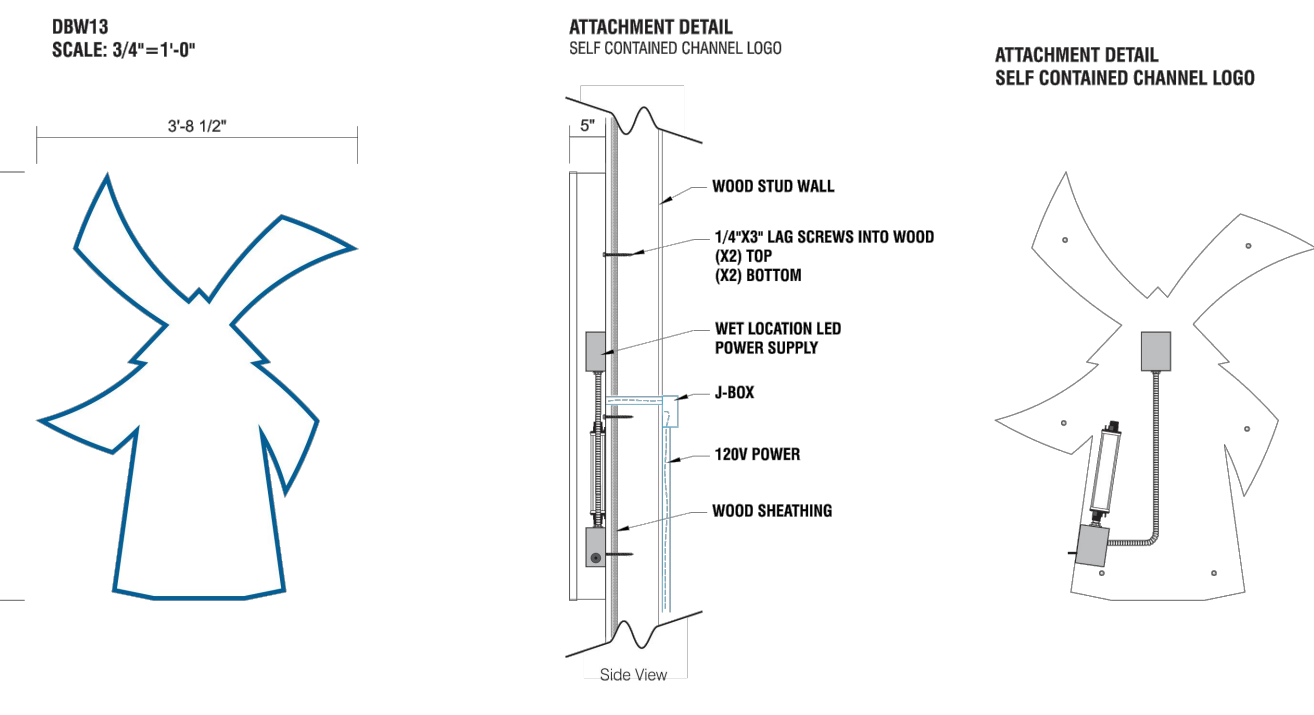
**5** BUILDING SIGN, SNAP FRAMES, BY OTHERS - REFERENCE ONLY  
NOT TO SCALE



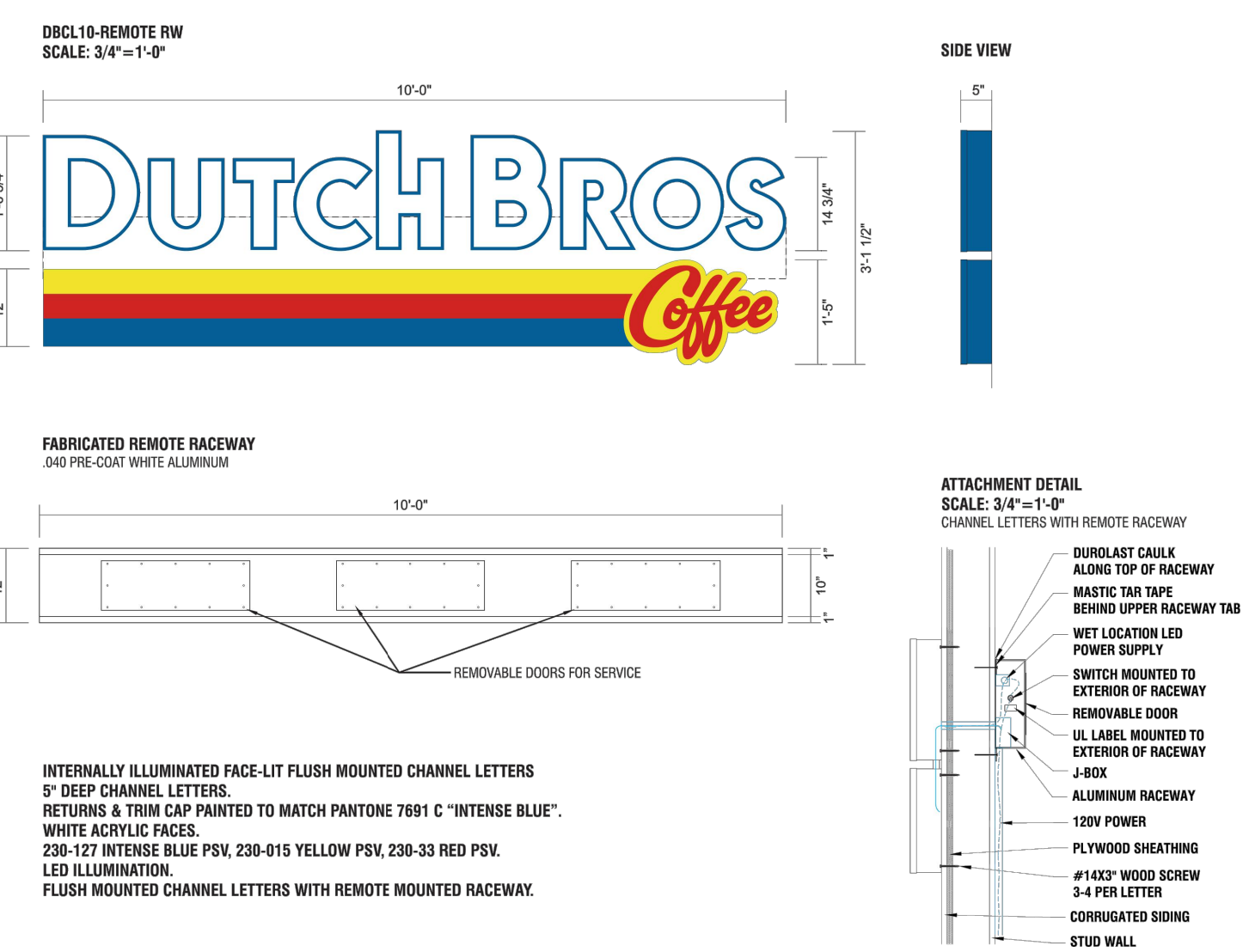
**4** AWNING CLEARANCE SIGN BY OTHERS AT DRIVE-THRU WINDOW - REFERENCE ONLY  
NOT TO SCALE



**3** BUILDING SIGN, MENU BOARD, BY OTHERS - REFERENCE ONLY  
NOT TO SCALE



**2** BUILDING SIGN, WINDMILL, BY OTHERS - REFERENCE ONLY  
NOT TO SCALE



**1** BUILDING SIGN, CHANNEL LETTERS, BY OTHERS - REFERENCE ONLY  
NOT TO SCALE



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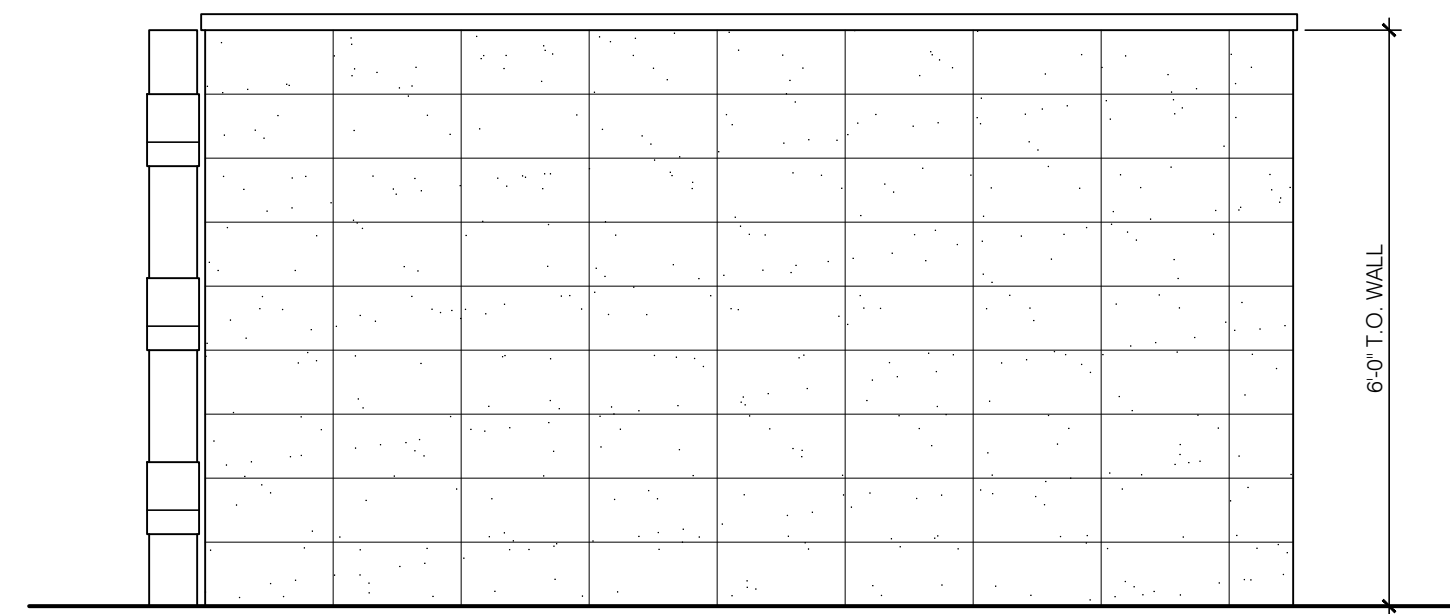
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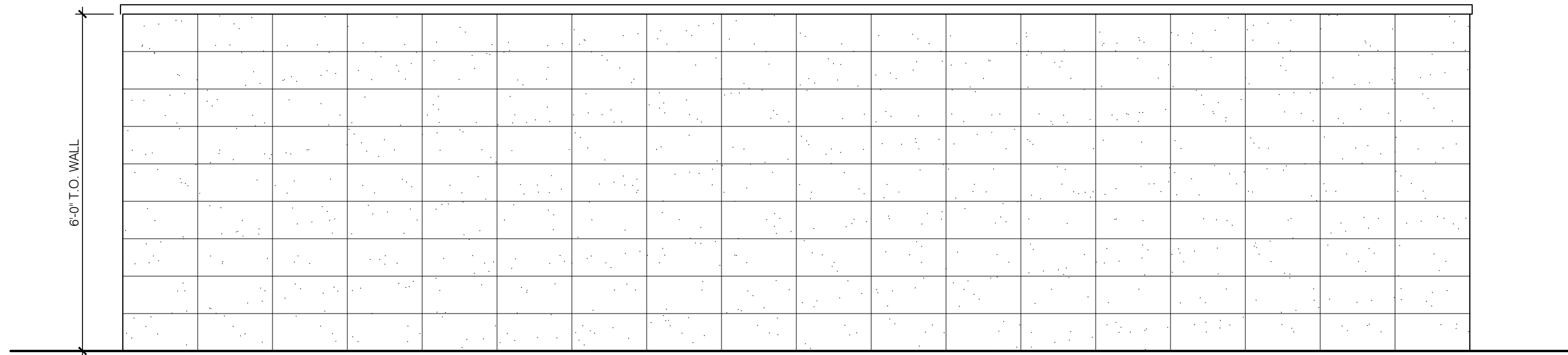
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 BUILDING SIGNAGE DETAILS

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 SP1.2

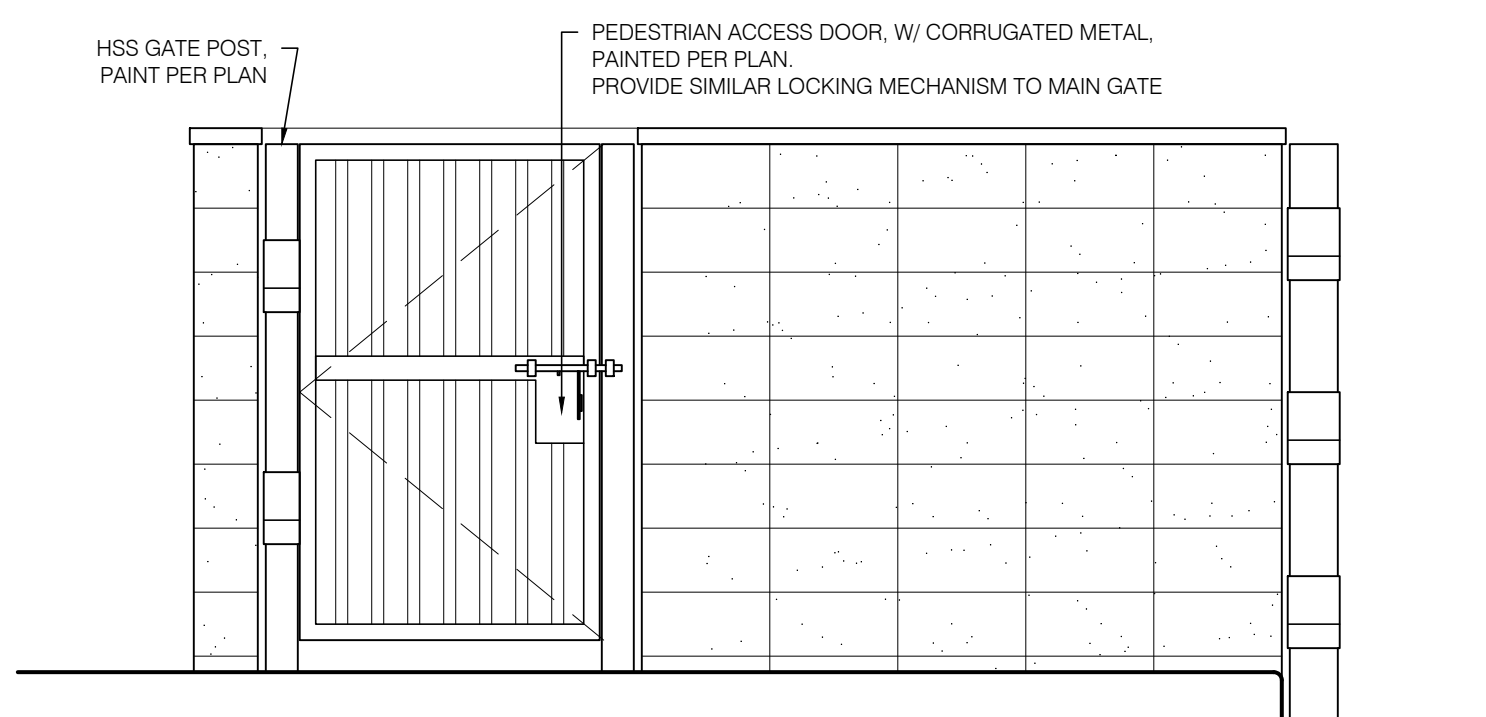
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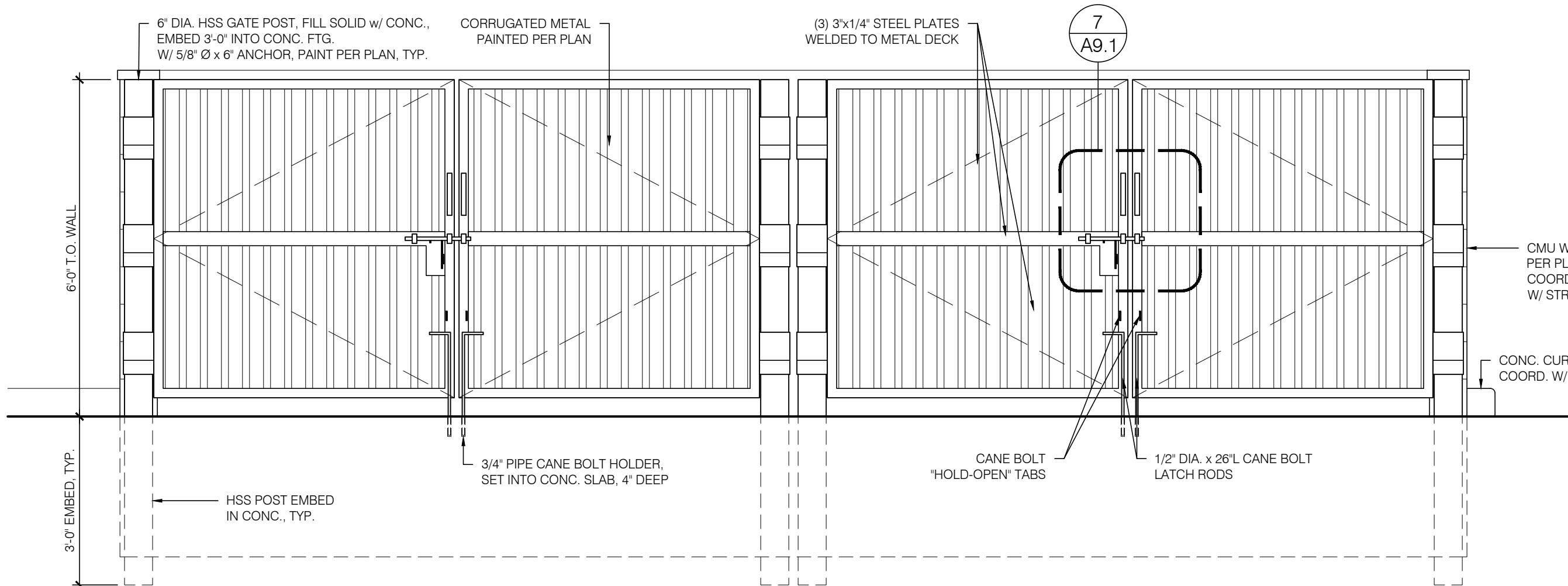
5 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



4 TRASH ENCLOSURE REAR ELEVATION  
SCALE: 1/2" = 1'-0"

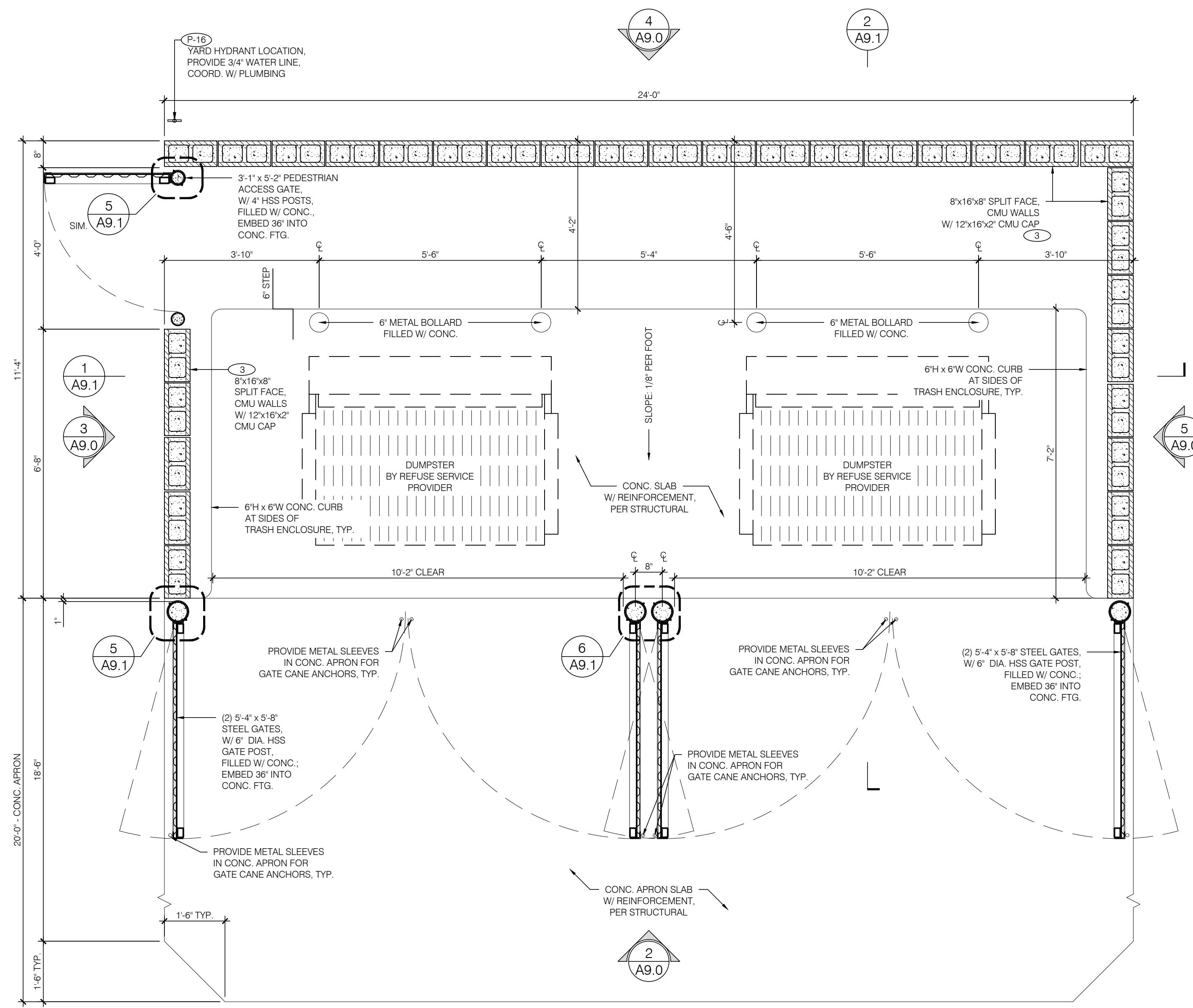


3 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



2 TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/2" = 1'-0"

ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	CMU BLOCK	BASALITE	CHARCOAL	SPLIT FACE, 8x16x8; 8-8x8 AS NECESSARY
	CMU CAP	BASALITE	CHARCOAL	12x16x2
PT-1	PAINT	SHERWIN-WILLIAMS	GP-0624	DUTCH BROS GRAY, GATES BODY
PT-2	PAINT	SHERWIN-WILLIAM	GP-0642	DUTCH BROS BLUE, GATE FRAMES & POSTS



1 TRASH ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"

TRASH ENCLOSURE GENERAL NOTES:

- REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
- PROVIDE LOCKING MECHANISM ON GATES AND PEDESTRIAN GATE
- PROVIDE SITE LIGHTING AT TRASH ENCLOSURE, MIN. 5 FOOT CANDLE.
- GATES TO BE BUILT WITH 3"x2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED PER PLAN.



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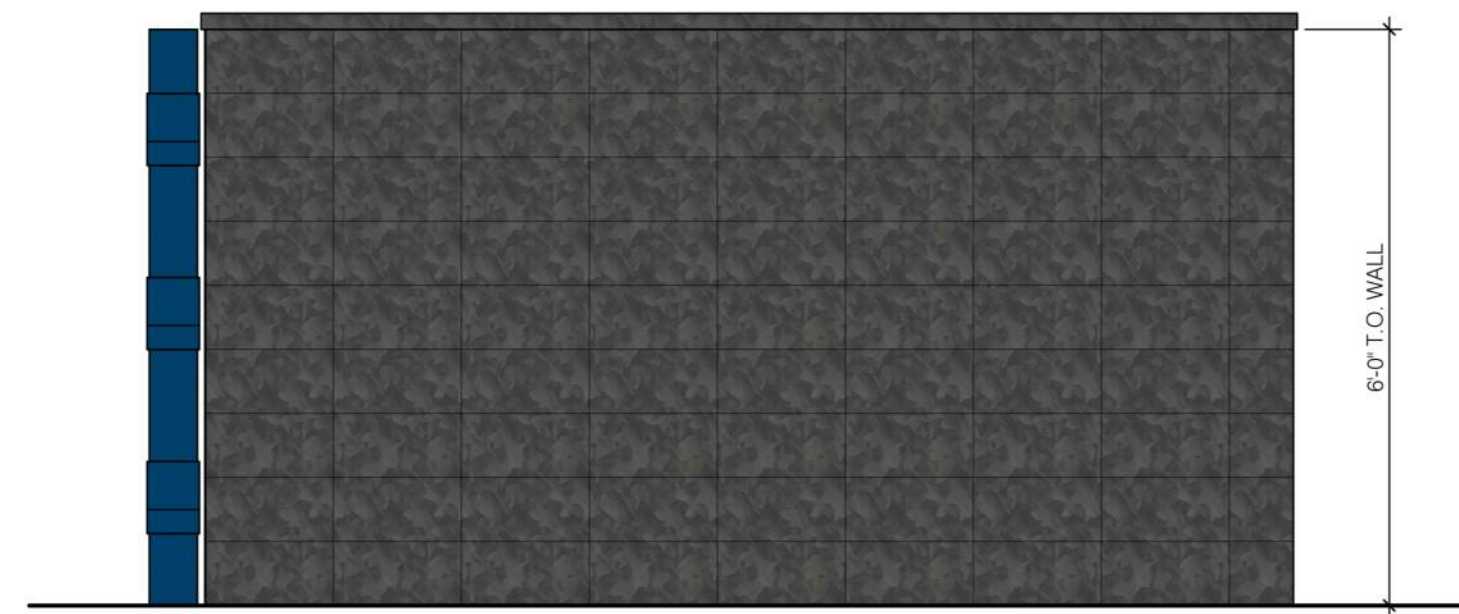
TRASH ENCLOSURE PLAN/ ELEVATIONS

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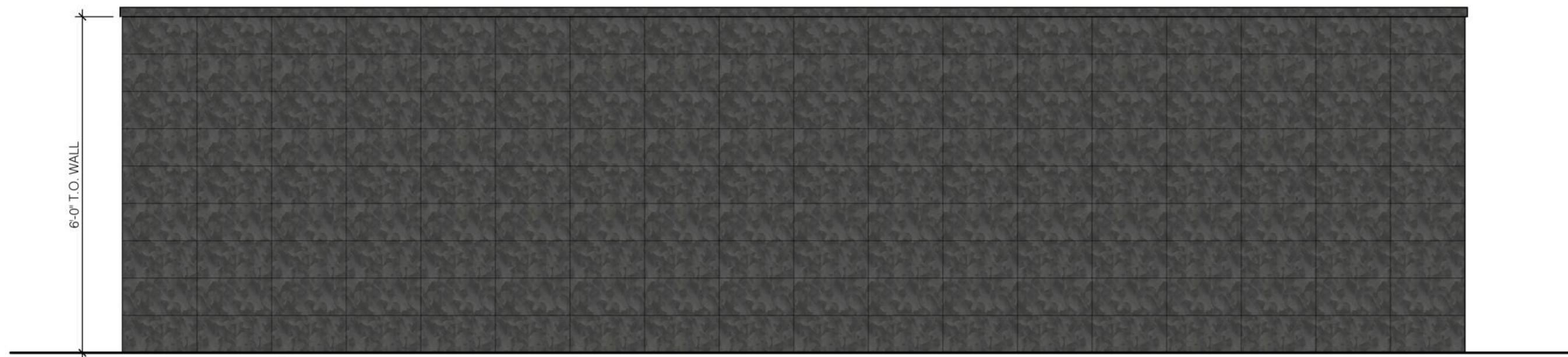
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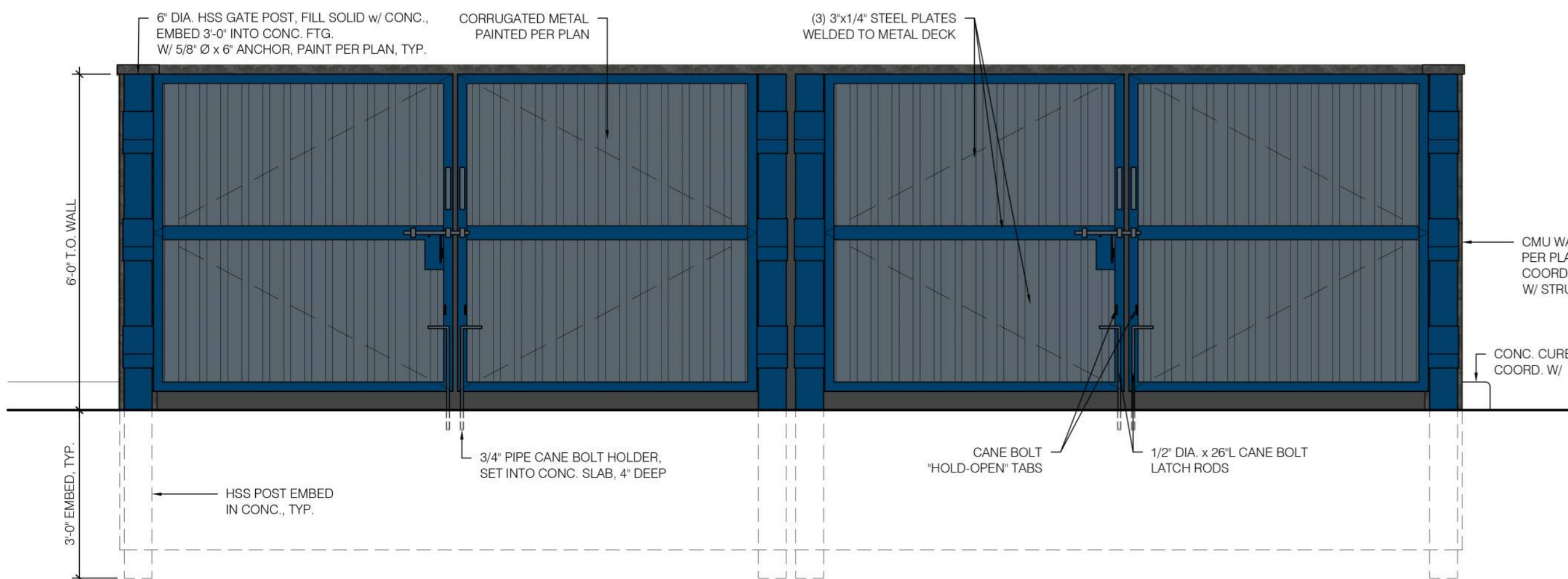
5 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



4 TRASH ENCLOSURE REAR ELEVATION  
SCALE: 1/2" = 1'-0"

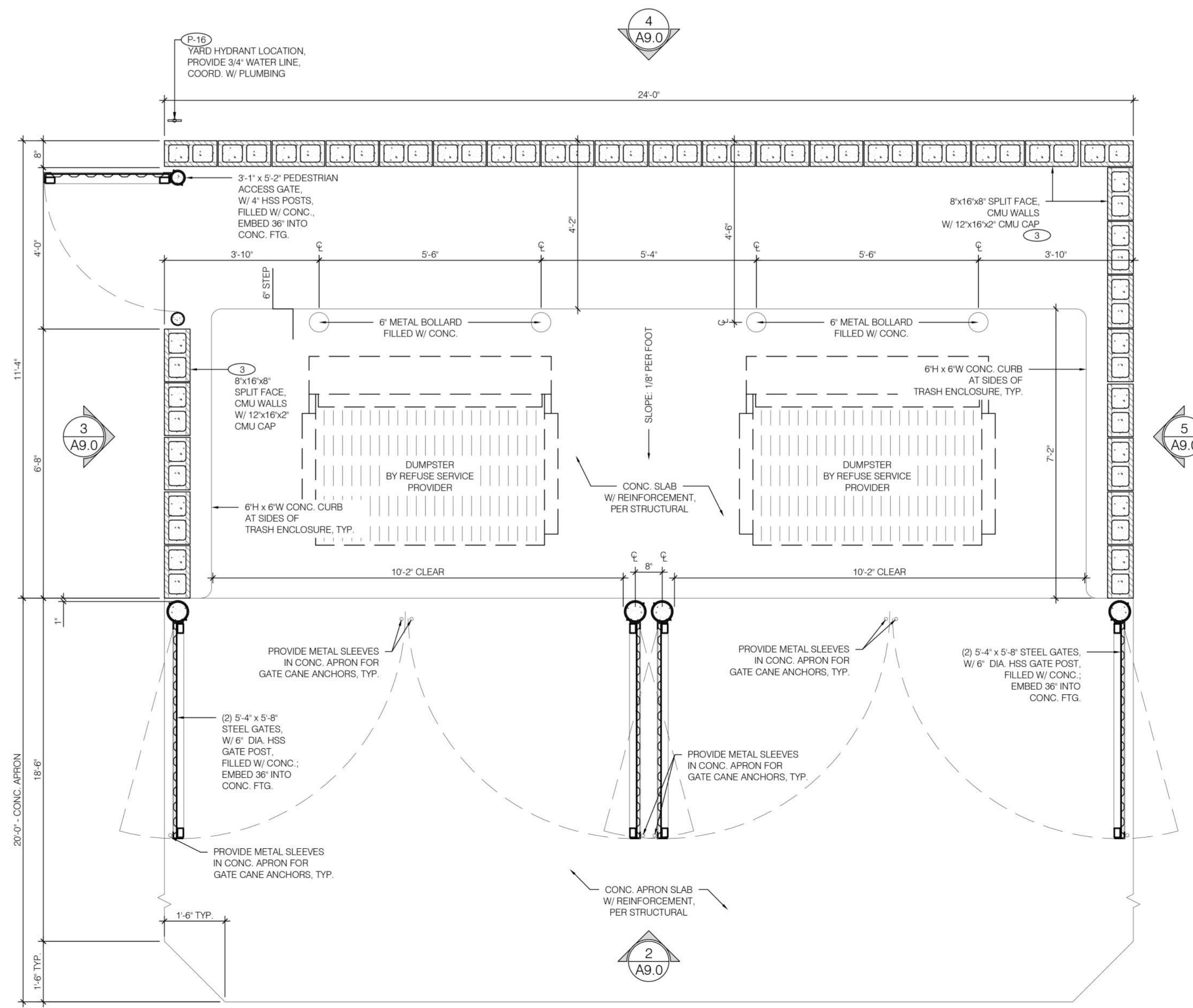


3 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



2 TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/2" = 1'-0"

TRASH ENCLOSURE MATERIALS				
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1 TRASH ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"



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TRASH ENCLOSURE PLAN/ ELEVATIONS

SHEET NUMBER:

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